

EXTERIOR DESIGN MATERIALS

07

CURTAINWALL WITH SPANDREL PANEL

DARK GRAY BACK-PAINTED GLASS, BLACK FRAMES

06



ASPHALT SHINGLE - CHARCOAL

05



ALUMINUM CLAD WINDOW AND DOOR FRAMES WITH CLEAR GLASS

CLEAR GLASS, BLACK FRAME



04



FIBER CEMENT SMOOTH PANEL
CHARCOAL/BLACK
HIDDEN FASTENER

03



VERTICAL SIDING
CEMENTITIOUS SIDING - REVEAL
W/ HIDDEN FASTENERS
SMOOTH BALCONY FASCIA TO
MATCH

02



TERRA COTTA MODULAR BRICK
WITH CHARCOAL MORTAR
MATTE FINISH, THIN VENEER

01



METAL ACCENT PANEL
ACCENT & SOFFIT - COPPER





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DEVELOPMENT PERMIT 2024-12-20

ARCHITECTURAL

- DP0.00 COVER
- DP0.01 EXISTING SURVEY PLAN
- DP0.02 EXISTING SITE CONTEXT
- DP0.03 SHADOW STUDIES
- DP1.01 SITE PLAN & STATISTICS
- DP1.02 SITE DETAILS
- DP1.03 VEHICLE SWEEP PLANS
- DP2.01 MAIN FLOOR PLAN
- DP2.02 LEVEL 2 FLOOR PLAN
- DP2.03 TYPICAL FLOOR PLANS - LEVEL 3-5
- DP2.04 LEVEL 6 FLOOR PLAN
- DP2.05 ROOF PLAN
- DP3.01 BUILDING ELEVATIONS
- DP3.02 BUILDING SECTIONS
- DP3.03 BUILDING SECTIONS

LANDSCAPE

- L-01 OVERALL LANDSCAPE PLAN
- L-02 LANDSCAPE PLAN
- L-03 TYPICAL DETAILS

CIVIL

- C-01 SITE SERVICING PLAN
- C-02 SITE GRADING PLAN

ELECTRICAL

- DP E-101 SITE PLAN
- DP E-102 PHOTOMETRIC CALCULATION - SITE PLAN
- DP E-103 LUMINAIRE SCHEDULE

627 Heritage 627 Heritage Drive SW

PREPARED FOR:  **GOODFORM**

Architecture

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Structural

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www.protostatix.com

Mechanical

PMW Engineering
401 - 9945 50th Street NW
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t: 780.424.5539
www.pmweng.com

Electrical

Nemetz (S/A) & Associates LTD.
305 - 525 11th Avenue SW
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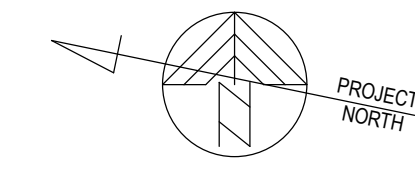
Civil

WATT Consulting Group
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Landscape

Arquiecos Group LTD.
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PROJECT NO.
24.162



627 Heritage

627 HERITAGE DRIVE SW
CALGARY, AB
161JK;D;1



Issued/ Revision Schedule		
no.	description	date
A	DEVELOPMENT PERMIT	2024-12-20

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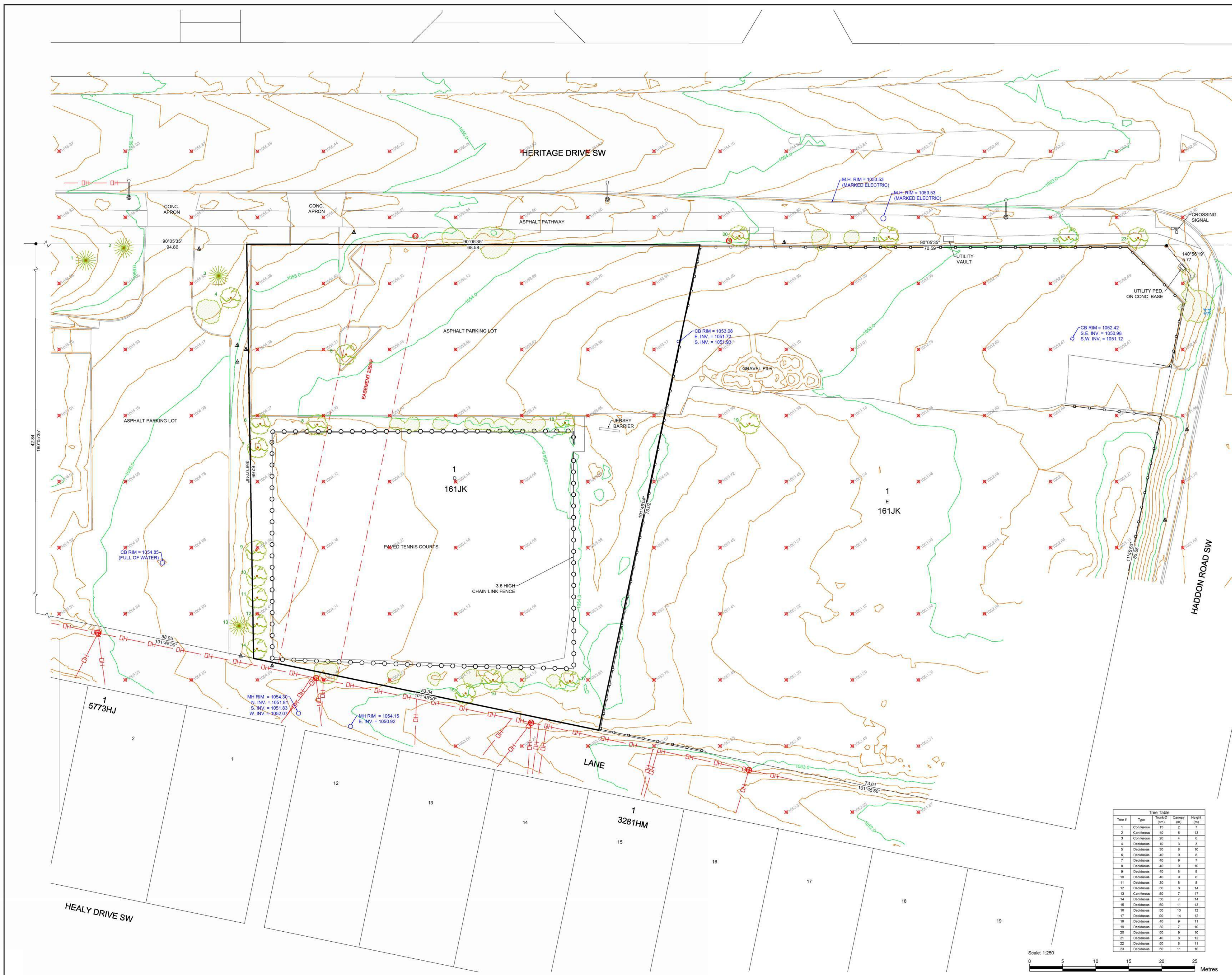
Drawing Title

EXISTING SURVEY PLAN

Sheet

DP0.01

Scale 1:100 Project No. 24.162



Notes:

- DISTANCES ARE IN METERS AND DECIMALS THEREOF.
- COORDINATES ARE BASED ON GNSS TIES TO HPN ASCM 66019.
- COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999738.
- PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (3TM).
- HORIZONTAL DATUM: NORTH AMERICAN DATUM 1983 (NAD83).
- ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CV208) VIA HT2.0 GEOD MODEL.
- ORTHOMETRIC REFERENCE MERIDIAN: 114° W.
- ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.
- ON-SITE BURIED UTILITIES WERE LOCATED USING INDIRECT DETECTION PROCEDURES AND ARE SHOWN FOR REFERENCE PURPOSES ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE INDIVIDUAL UTILITY OWNERS, OPERATORS, OR AUTHORITIES TO OBTAIN ANY REQUIRED PERMITS AND METHODS OF LOCATING AND EXPOSING ANY BURIED FACILITIES PRIOR TO ANY PLANNED GROUND DISTURBANCE.

Legend:

- MAJOR CONTOUR 1.0m INTERVAL
- MINOR CONTOUR 0.2m INTERVAL
- SPOT ELEVATION
- FOUND STATUTORY IRON POST
- FOUND I. BAR
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE - CHAINLINK
- FENCE - POST AND CABLE
- POWER POLE
- GLY WIRE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- VALVE
- SIGN
- OUTLET ON CONC. BASE
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS LINE
- STORM LINE
- SANITARY LINE
- COMMUNICATIONS - BURIED LINE
- COMMUNICATIONS - OVERHEAD LINE
- WATER MAIN
- CULVERT
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES

No.	Revision Description	By	Date	Appr
00	ISSUED TO CLIENT	N.K.	AUG. 15, 2024	N.K.

Title: **TOPOGRAPHIC SITE SURVEY**

Job Description: **C. of T. 127W192
LOT D (PORTION), BLOCK 1, PLAN 161 JK
627 HERITAGE DRIVE S.W.
CALGARY AB**

Client:

WATT Consulting Group Ltd.
1300, 736 6th Avenue S.W.
Calgary, AB T2P 3T7
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F: 403.273.3440
www.wattconsultinggroup.com

Drawn:	Field Surveyor(s):
N.K.	A.T./R.H.
Draft Chk:	Survey Date:
N.K.	AUG. 6, 2024
Approved:	Date:
N.K.	AUG. 15, 2024
Scale:	File #:
1:250	4242.E01

Time Table

Tree #	Type	Trunk @ (cm)	Canopy (m)	Height (m)
1	Coniferous	55	25	7
2	Coniferous	40	6	13
3	Coniferous	20	4	8
4	Deciduous	10	3	3
5	Deciduous	30	8	10
6	Deciduous	40	9	8
7	Deciduous	40	9	7
8	Deciduous	40	9	10
9	Deciduous	40	8	8
10	Deciduous	40	9	8
11	Deciduous	30	8	8
12	Deciduous	30	8	14
13	Coniferous	50	7	17
14	Deciduous	50	7	14
15	Deciduous	50	11	13
16	Deciduous	50	10	12
17	Deciduous	50	14	12
18	Deciduous	40	9	11
19	Deciduous	50	7	10
20	Deciduous	50	8	10
21	Deciduous	40	8	12
22	Deciduous	50	8	11
23	Deciduous	50	11	10

Scale: 1:250



NORTH ARROW

DRAWING NUMBER

1 View Name

View Scale

REFERENCED FROM

SHEET NUMBER

DRAWING NUMBER

1 View Name

View Scale

SHEET NUMBER

DRAWING NUMBER

1 View Name

View Scale

Ref

1

A101

CALLOUT TAG

D101

DOOR TAG

E1

WALL TAG

F1

FLOOR TAG

R1

ROOF TAG

W1

WINDOW TAG

C1/2400

CEILING TAG

?

KEYNOTE TAG

?

MATERIAL TAG

▲

REVISION TAG

Room name

1001A

150 m²

ROOM TAG

1

A101

EXTERIOR ELEVATION HEAD

1

A101

INTERIOR ELEVATION HEAD

0

GRID BUBBLE

CL

CENTERLINE

1

A101

SECTION HEAD

Name

Elevation

LEVEL HEAD

HATCH LEGEND

EARTH

GRAVEL/ENGINEERED FILL

CAST IN PLACE CONCRETE

PRE-CAST CONCRETE

GYPSPUM

SAND/PLASTER/CEMENT

STEEL

ALUMINUM

RIGID INSULATION

SLOPED INSULATION

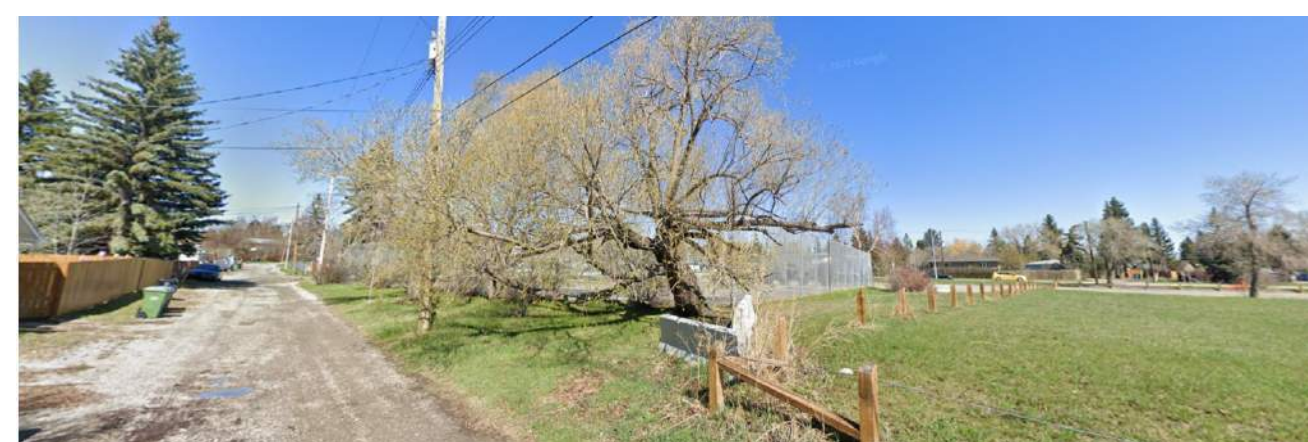
HEAVY DUTY ASPHALT



VIEW 01 - NORTHEAST



VIEW 02 - NORTHWEST



VIEW 03 - SOUTHEAST



VIEW 04 - SOUTHWEST



VIEW 05 - NORTHWEST - ADJOINING PROPERTY LINE



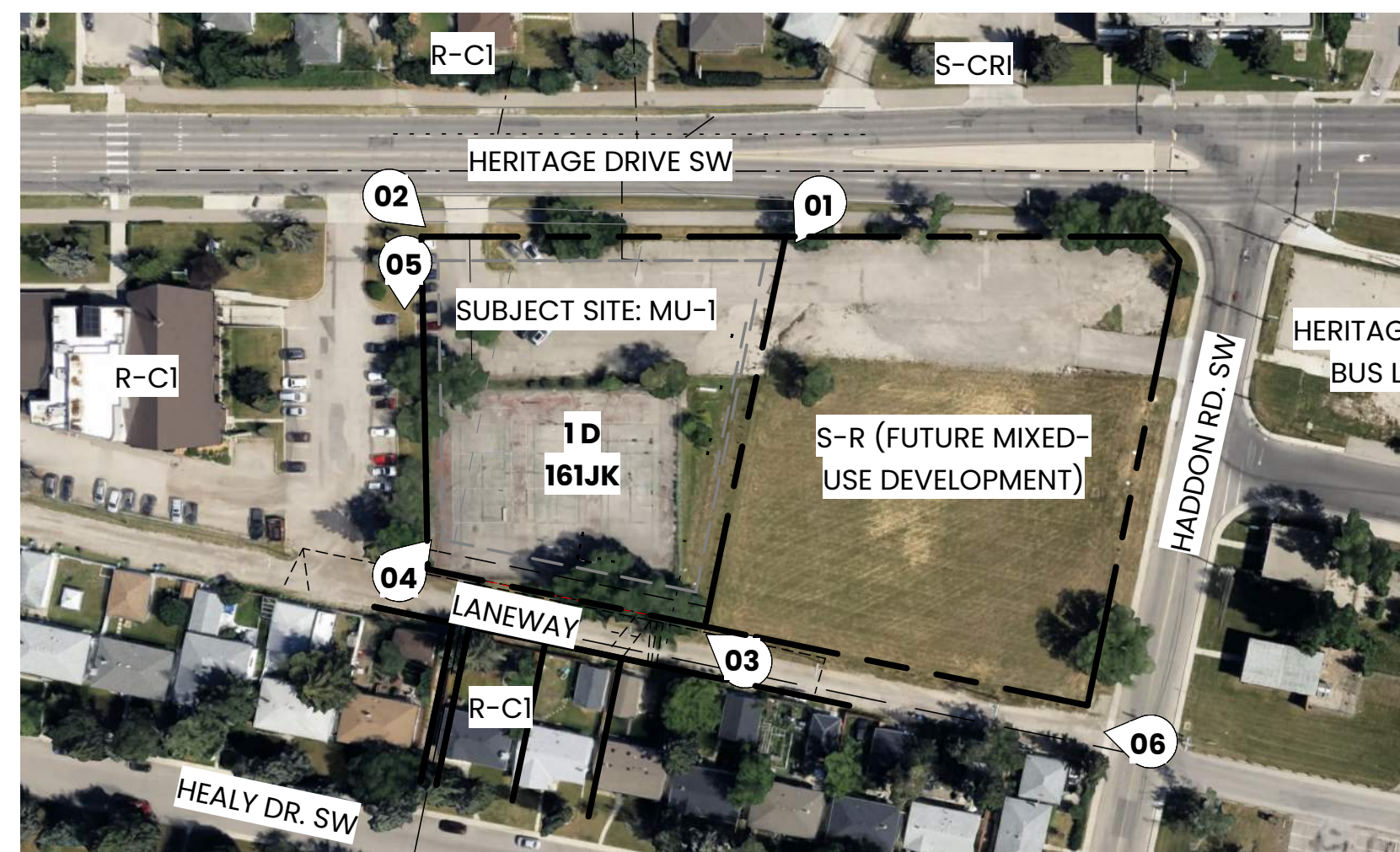
VIEW 06 - LANEWAY ACCESS FROM HADDON RD. SW

SITE LEGEND	
PROPERTY LINE	---
SETBACK LINE	---
(URW) UTILITY RIGHT OF AWAY	---
EXISTING EASEMENT	---
ITEMS TO BE DEMOLISHED	---
FIRE HYDRANT (EXISTING)	PH
POWER POLE (EXISTING)	PP
EXISTING MANHOLE	M
EXISTING CATCH BASIN	CB
SITE KEYNOTES	
1.	EXISTING TREES WITHIN PROPERTY TO BE REMOVED UNLESS NOTED OTHERWISE.
2.	EXISTING TREES ON ADJACENT PROPERTY TO BE RETAINED.
3.	EXISTING ASPHALT PATHWAY TO REMAIN - LOCALIZED TIE-IN OF PROPOSED SIDEWALKS - REFER TO PROPOSED SITE PLANS.
4.	PROTECTED TREE TO BE REMOVED. NEW TREES PLANTED ON SUBJECT PROPERTY IN LIEU. REFER TO LANDSCAPE DRAWINGS.
5.	EXISTING CATCH BASIN TO REMAIN.
6.	EXISTING POLE TO BE REMOVED - APPROVAL BY CITY REQUIRED WITHIN EASEMENT.
7.	EXISTING CURB, PAVING & ASPHALT TO BE DEMOLISHED.
8.	EXISTING STORM LINE IN EASEMENT TO BE RETAINED.
9.	EXISTING OVERHEAD POWER LINES AND POWER POLES TO REMAIN.
10.	PAVING OF LANEWAY TO THE INTO EXISTING EDGE OF PROPOSED PARKING - REFER TO DFP, OI & CIVIL PLANS FOR FURTHER INFORMATION.
11.	NO PARKING SIGN TO BE DEMOLISHED.
12.	EXISTING APRON TO BE DEMOLISHED, REPLACED WITH EMERGENCY ACCESS - REFER TO PROPOSED SITE PLANS.
SITE DEMOLITION NOTES	
1.	DEMOLISH MEANS REMOVE AND DISPOSE OF OFF SITE, UNLESS SPECIFICALLY INDICATED TO BE RE-USED, SALVAGED OR TURNED OVER TO THE OWNER.
2.	GENERAL CONTRACTOR IS RESPONSIBLE TO CONFIRM PROPOSED EXTENT OF WORK IS FREE OF HAZARDOUS MATERIALS PRIOR TO COMMENCEMENT OF WORK.
3.	THE GC SHALL ENSURE THAT ALL CUTTING, REMOVING AND DEMOLITION SHALL BE PERFORMED SO AS NOT TO CUT OR REMOVE MORE THAN IS NECESSARY AND TO NOT DAMAGE ADJACENT SURFACES.
4.	DEMOLITION SCOPE BY OTHERS, TO BE APPLIED FOR UNDER SEPARATE PERMIT BY CONTRACTOR. EXTENT OF DEMOLITION IS SHOWN FOR INTENT ONLY FOR DEVELOPMENT PERMIT.
5.	REFER ALSO TO PROPOSED LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.

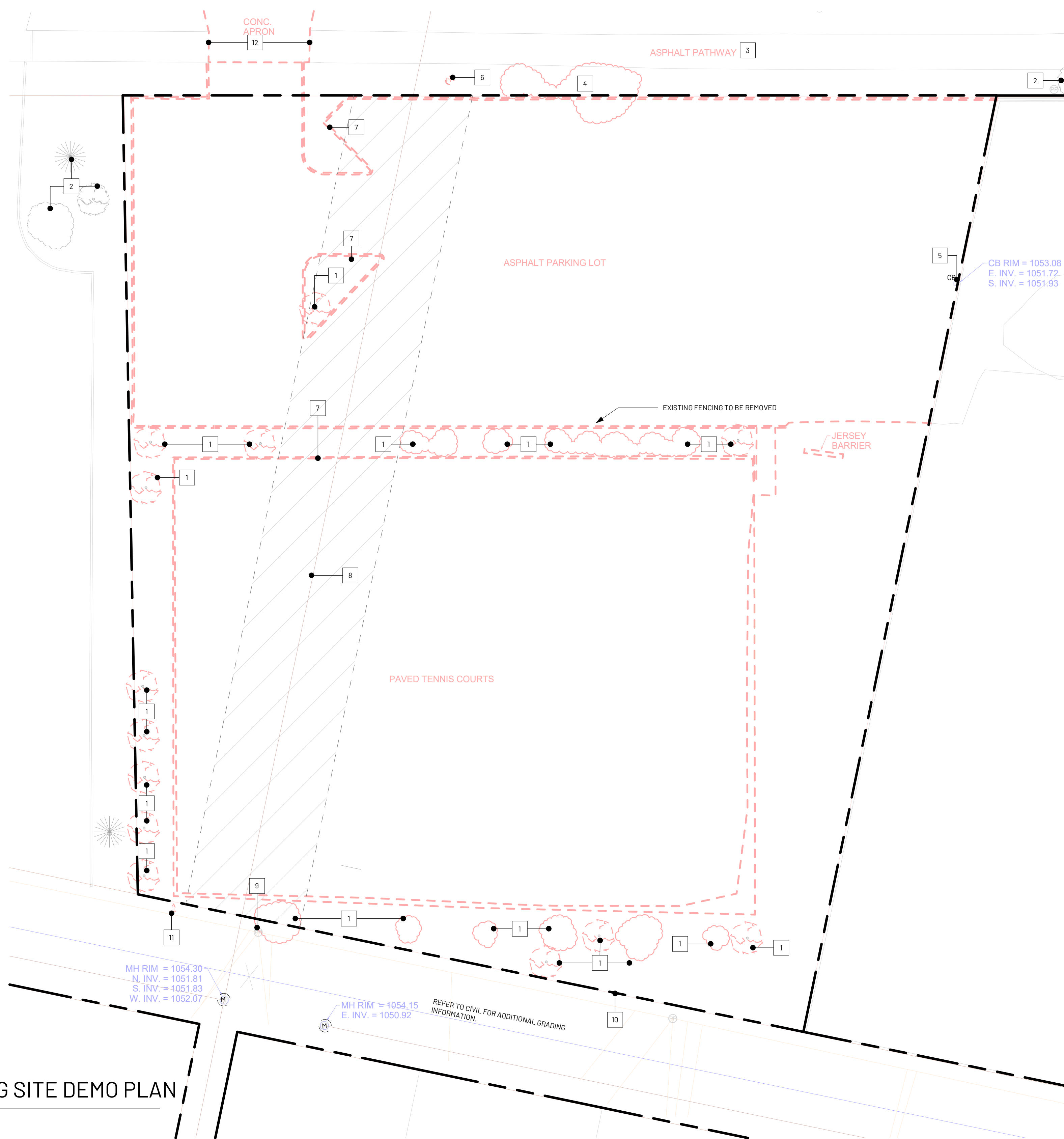
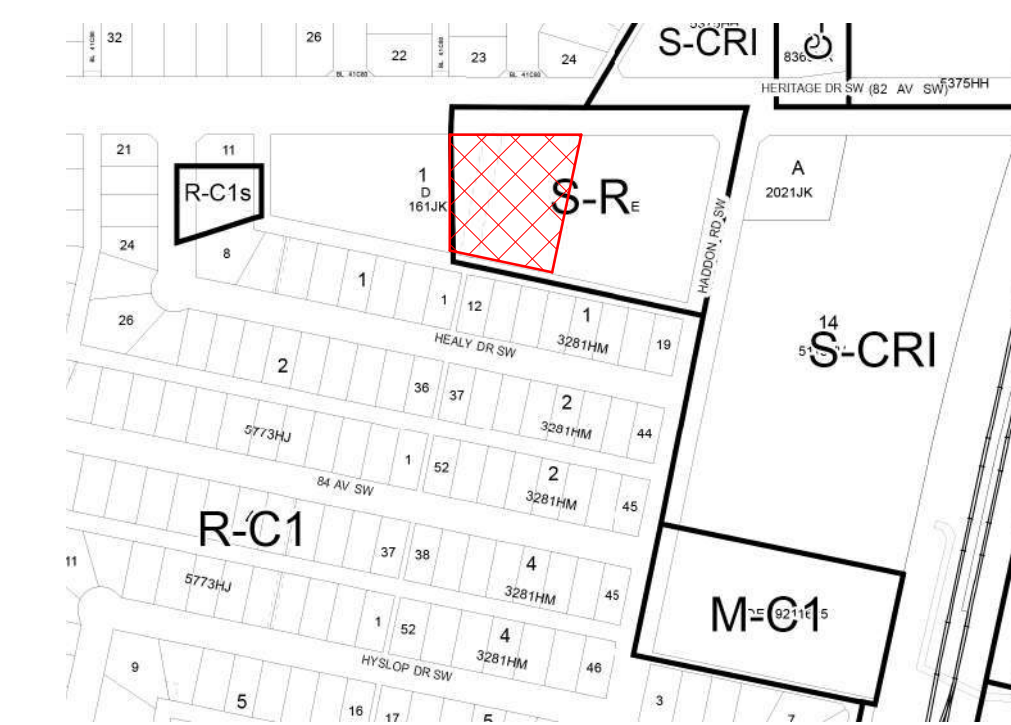
2 DP0.02

EXISTING SITE DEMO PLAN

1: 200



SUBJECT SITE
CONCURRENT LAND-USE RE-DESIGNATION: MU-1
(CPC2024-0215; CPC2024-1152)
NOTE: EAST LOT "E" ANTICIPATED TO UNDERGO LAND-USE RE-DESIGNATION FOR MULTI-OR MIXED USE DESIGNATION, AS SUPPORTED BY THE LOCAL AREA REDEVELOPMENT PLAN



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GOODFORM

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EXISTING SITE CONTEXT

Sheet

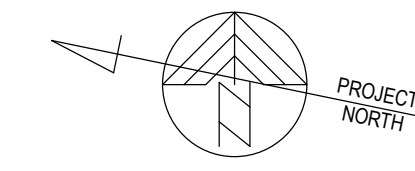
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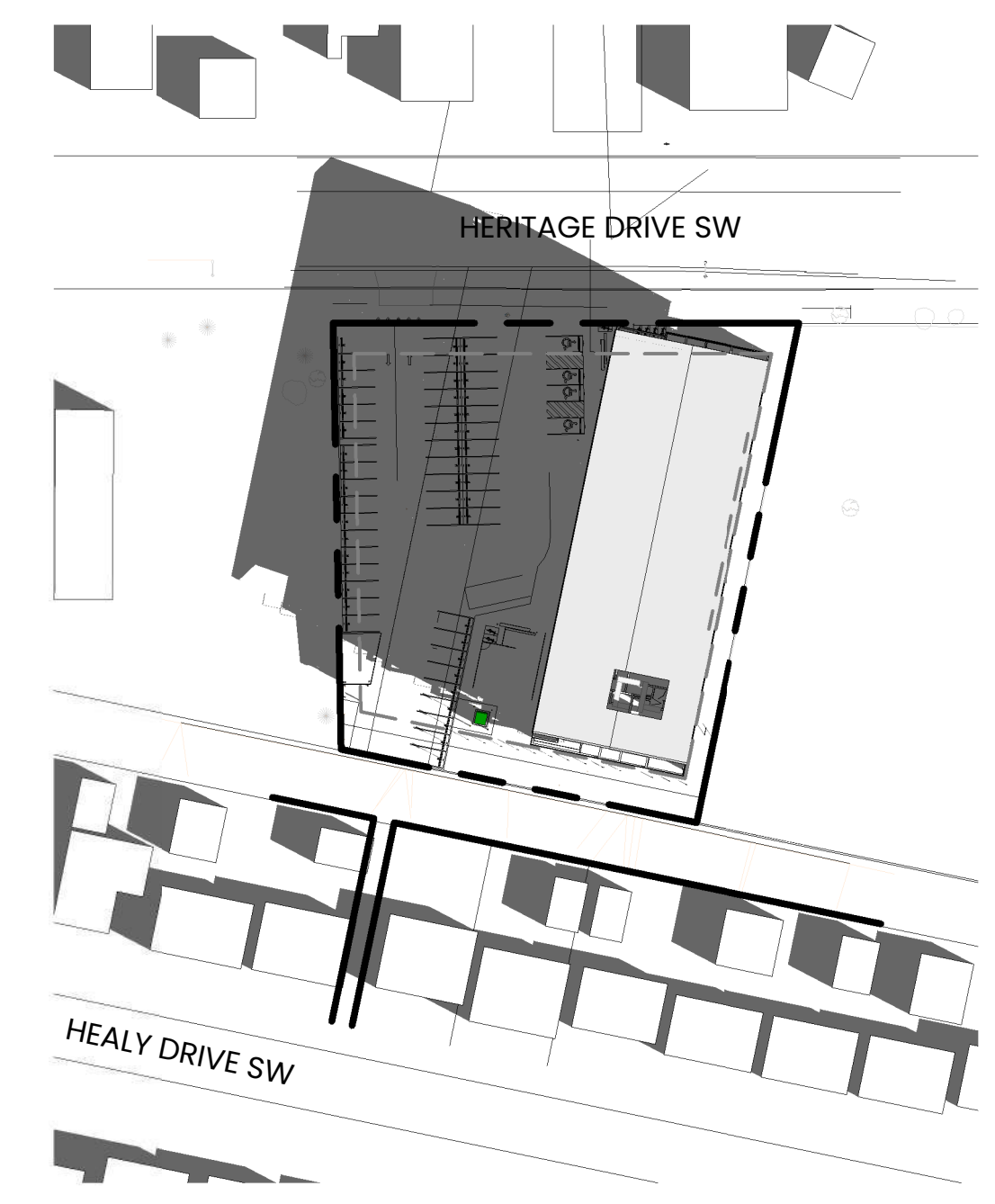


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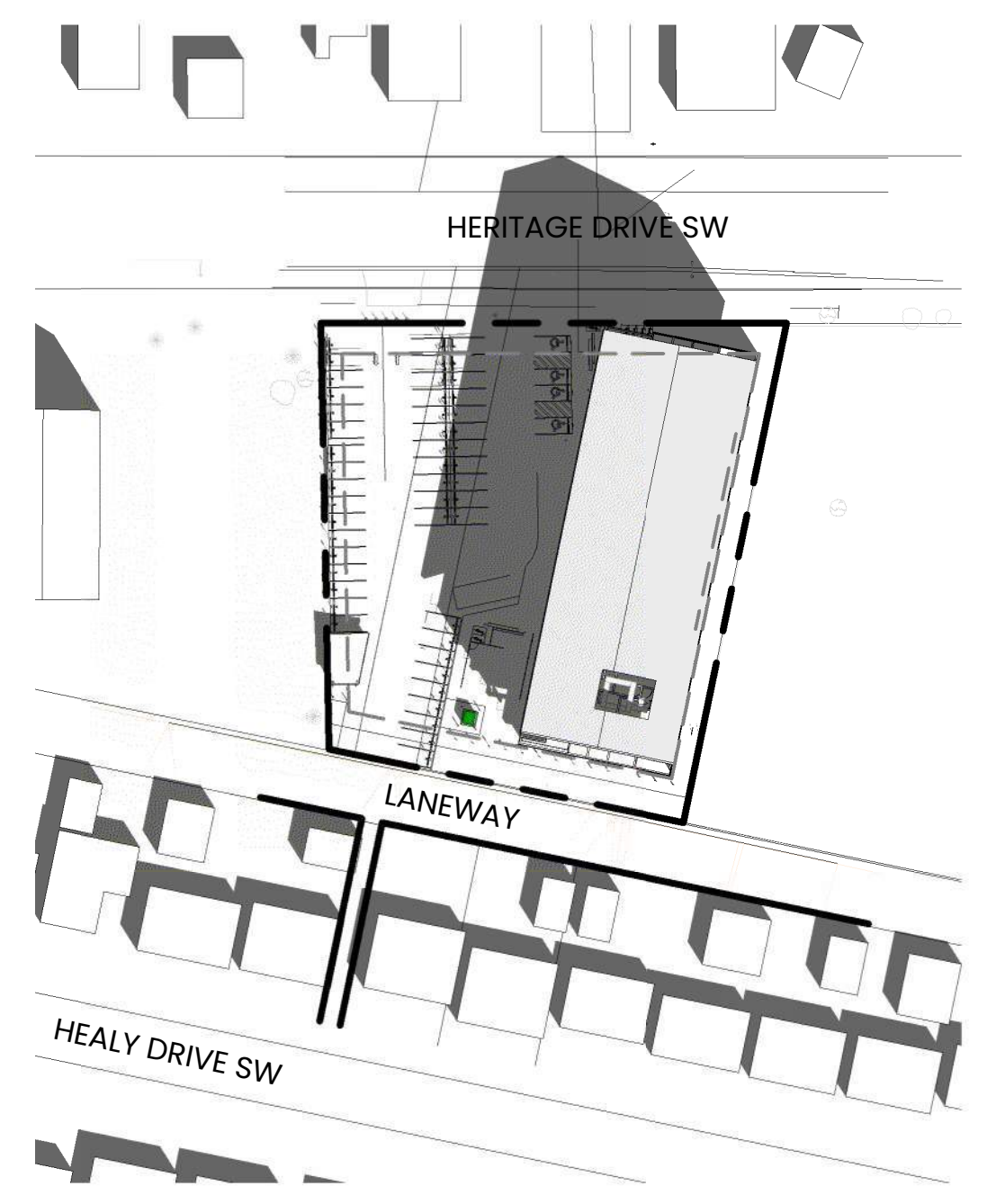
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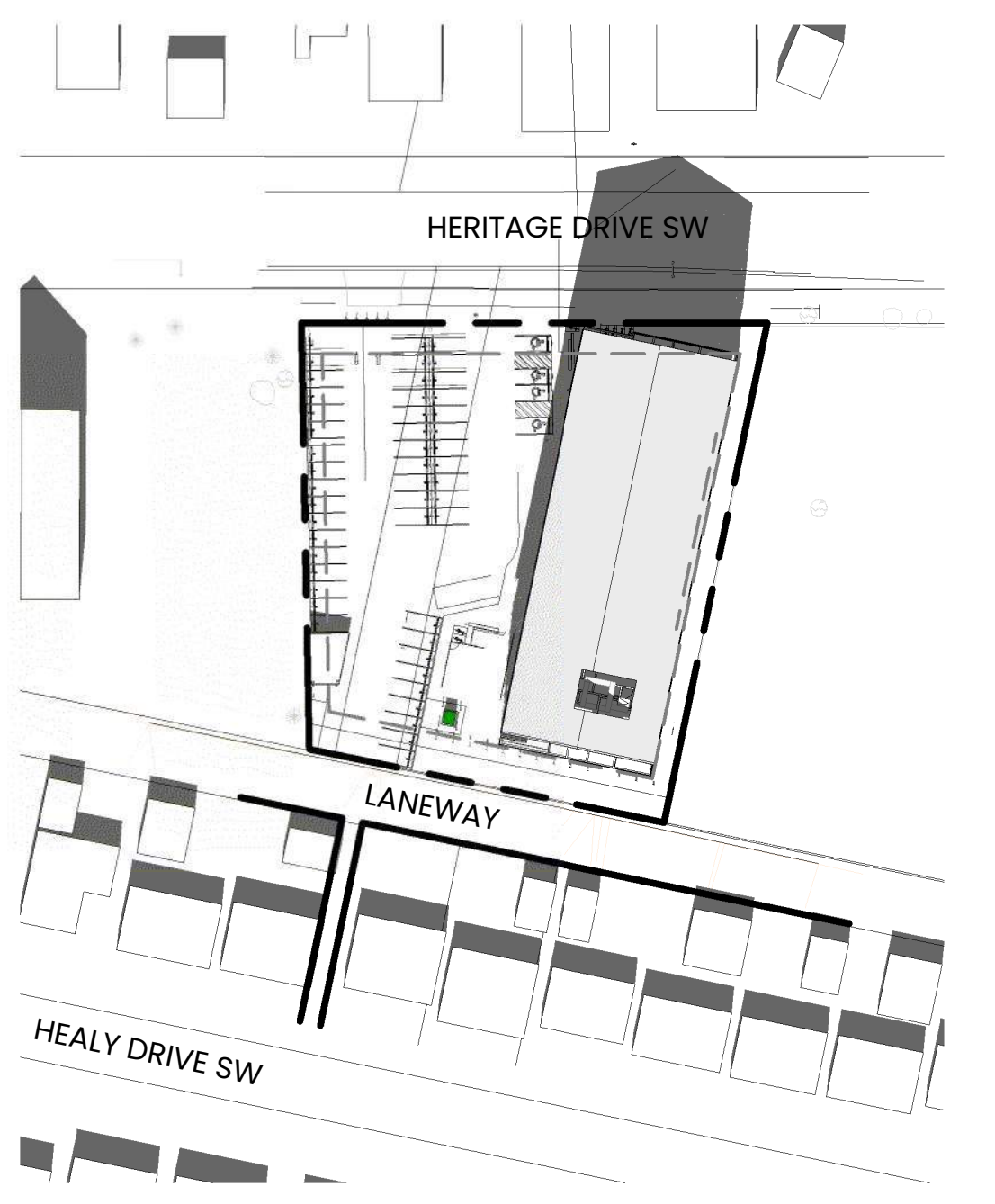
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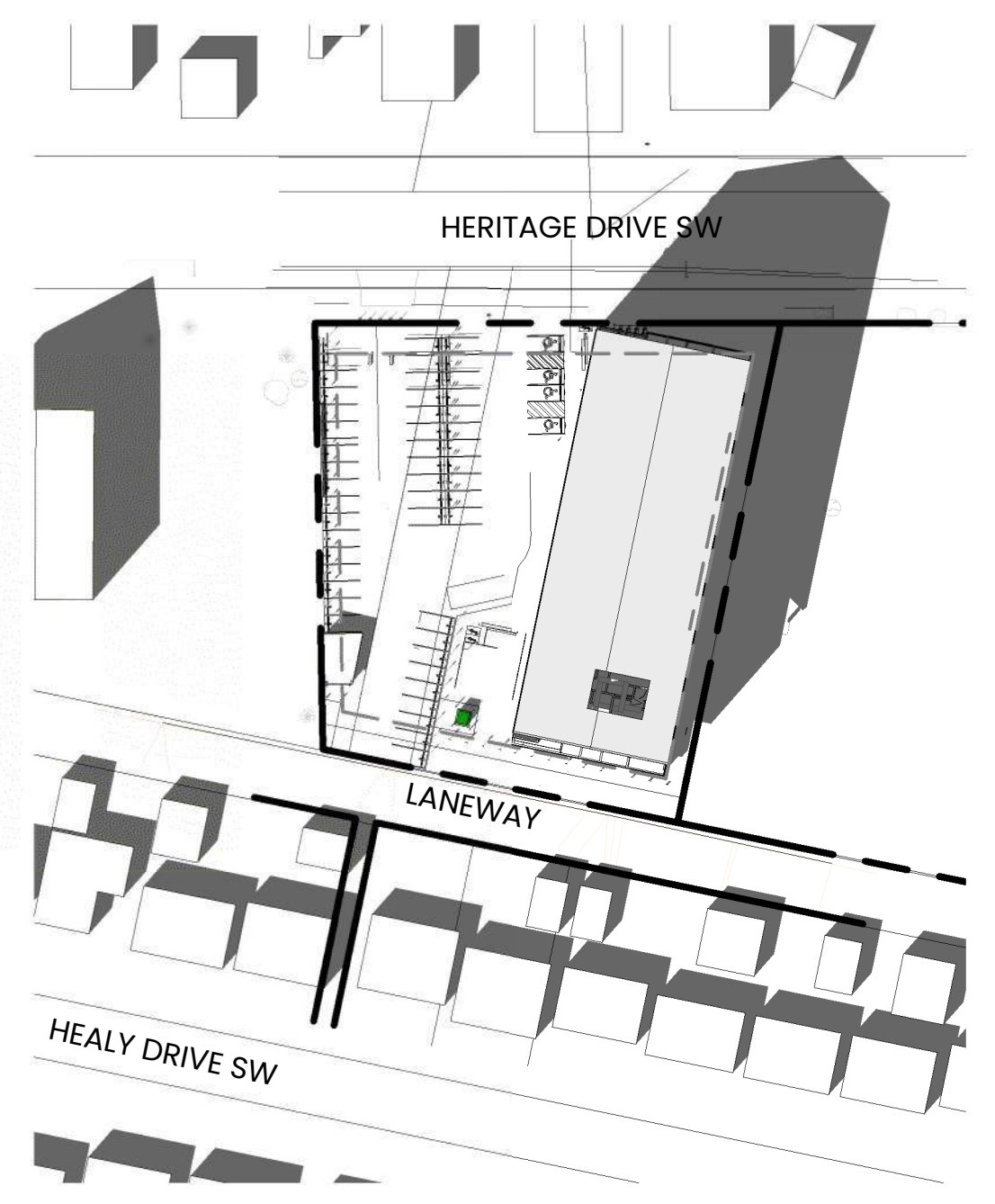
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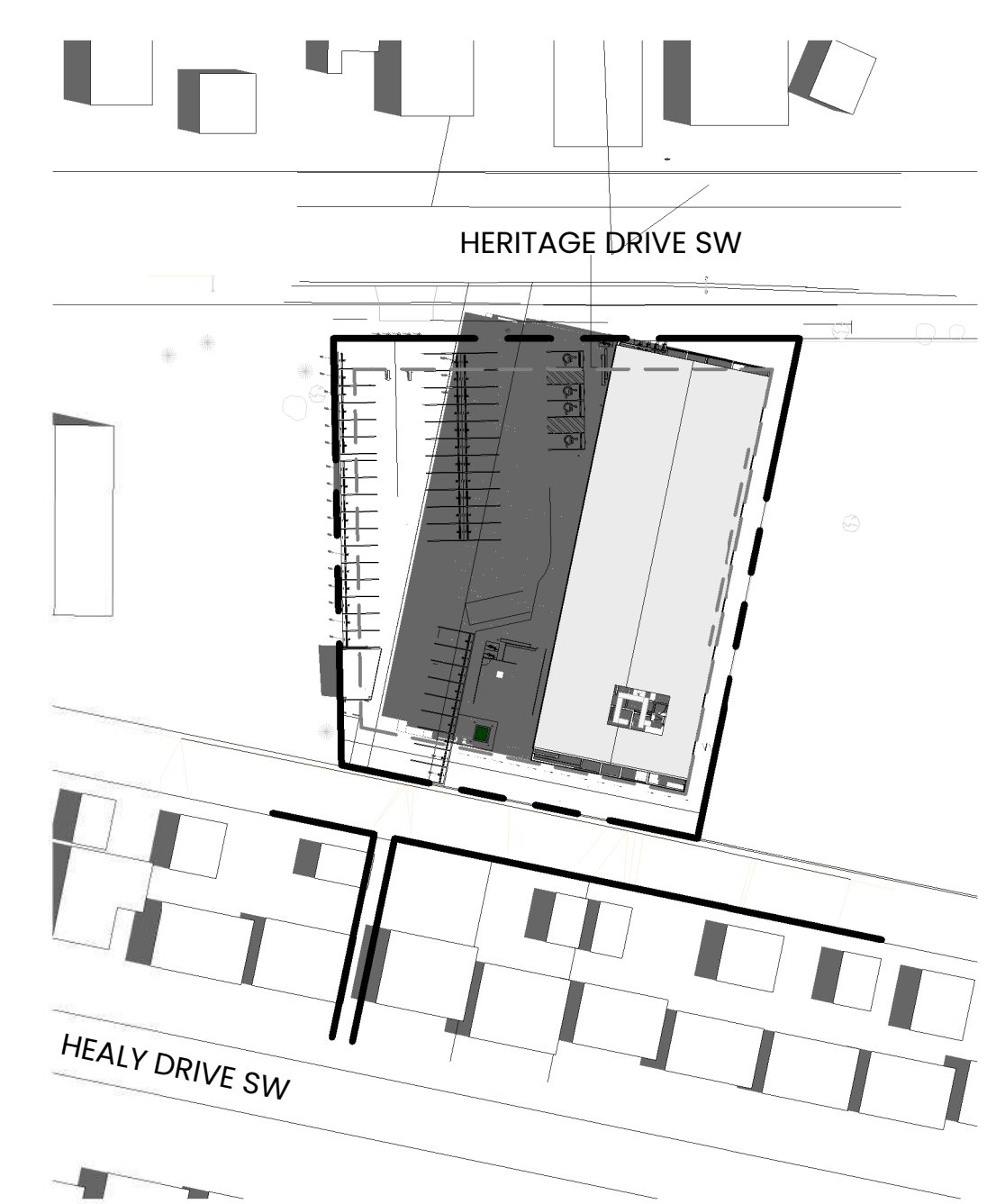
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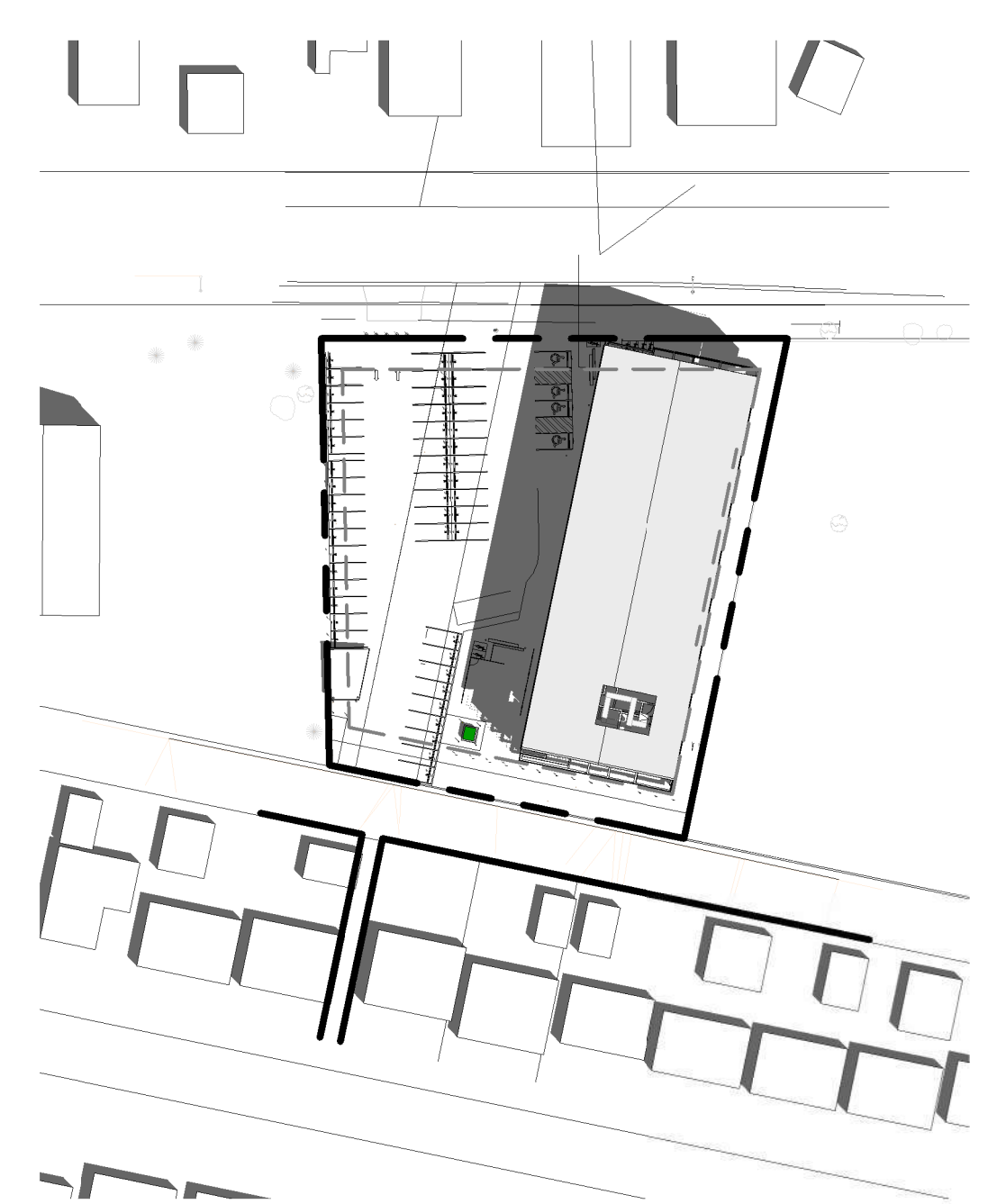
3 SEPTEMBER / MARCH 21 2PM
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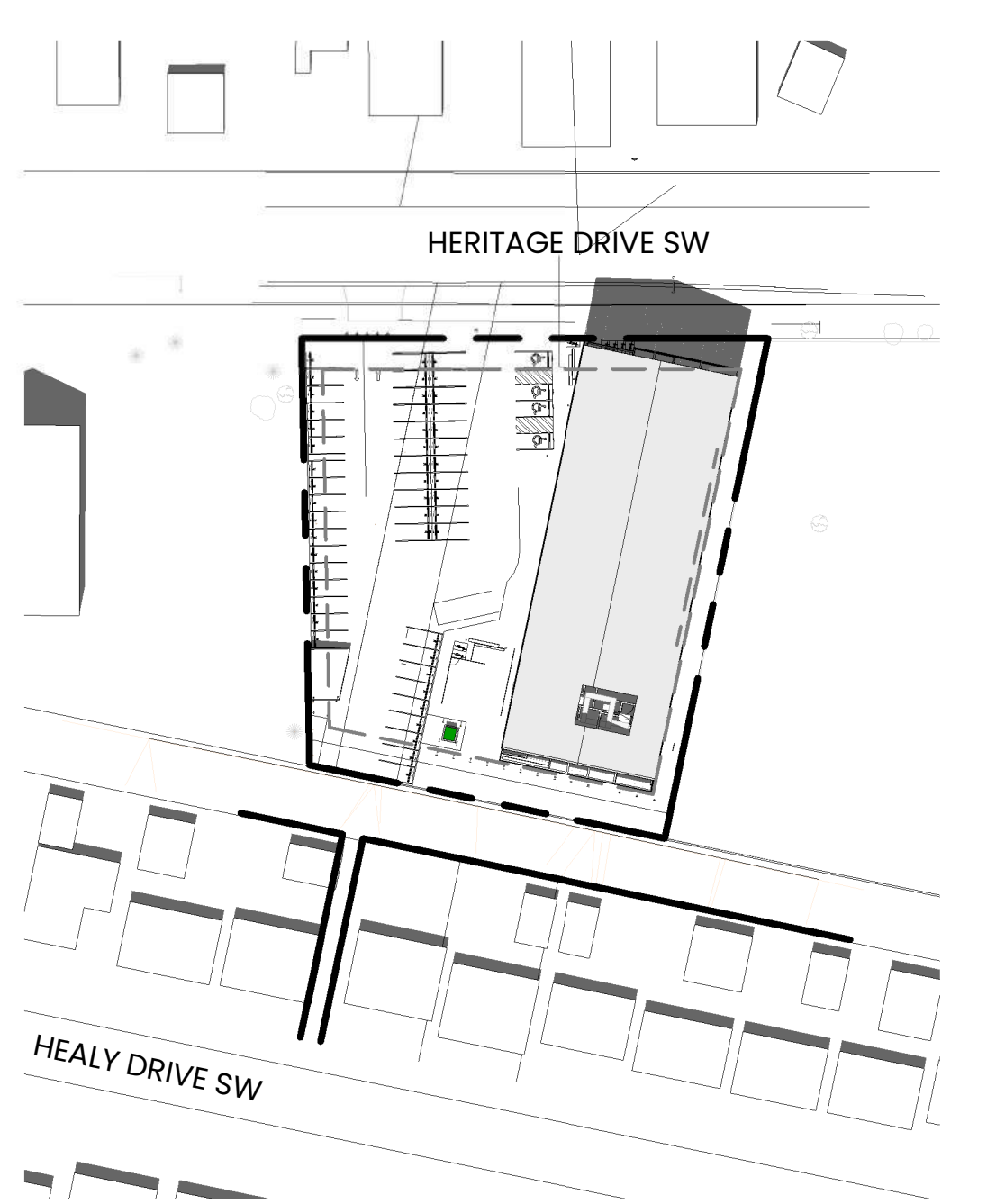
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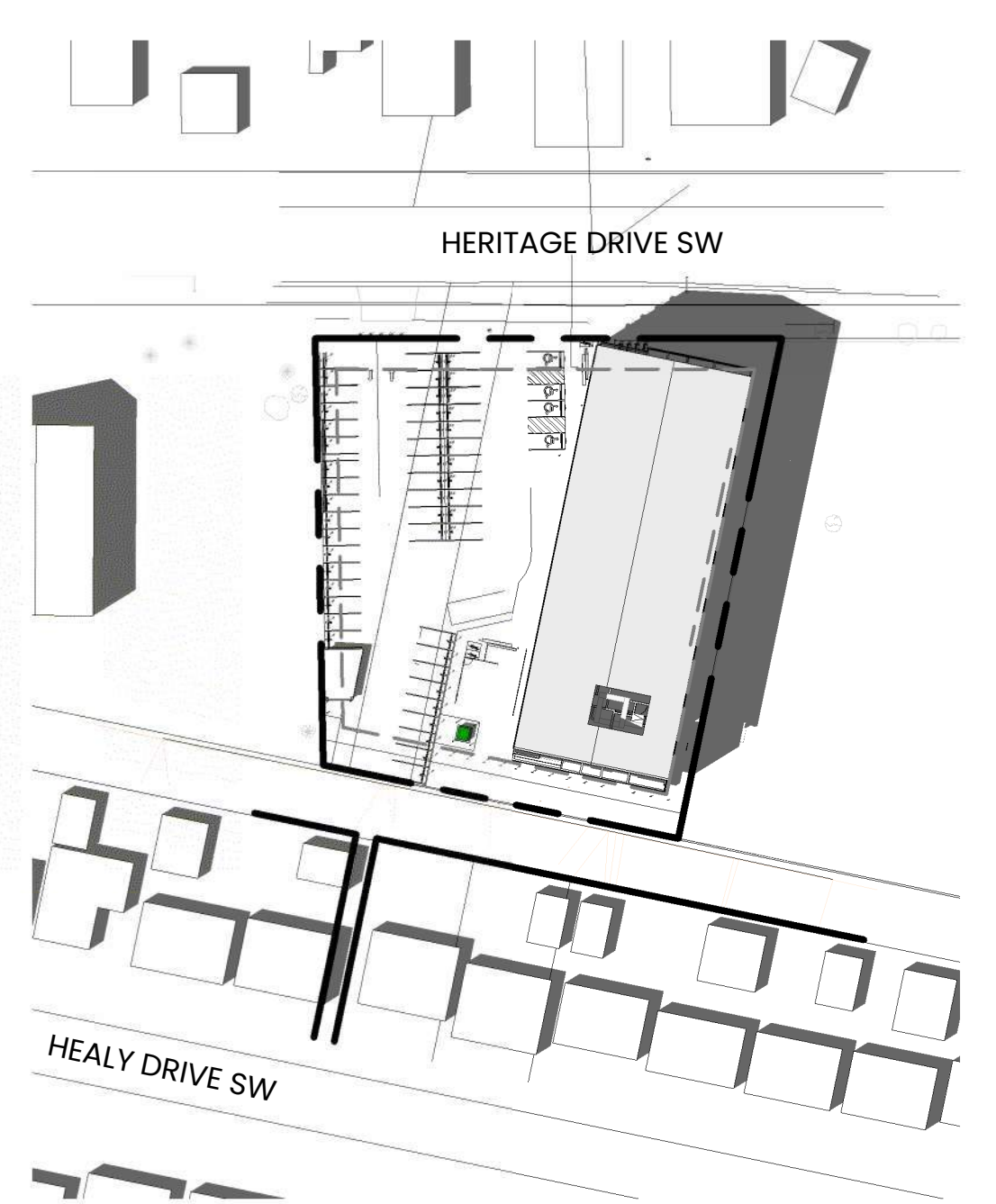
5 JUNE 21 10AM
1: 1000



6 JUNE 21 12PM
1: 1000



7 JUNE 21 2PM
1: 1000



8 JUNE 21 4PM
1: 1000

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SHADOW STUDIES

Sheet

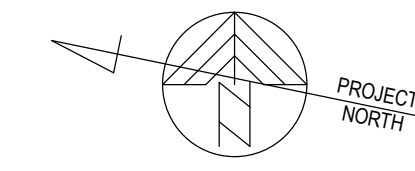
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VEHICLE SWEEP PLANS

DP1.03

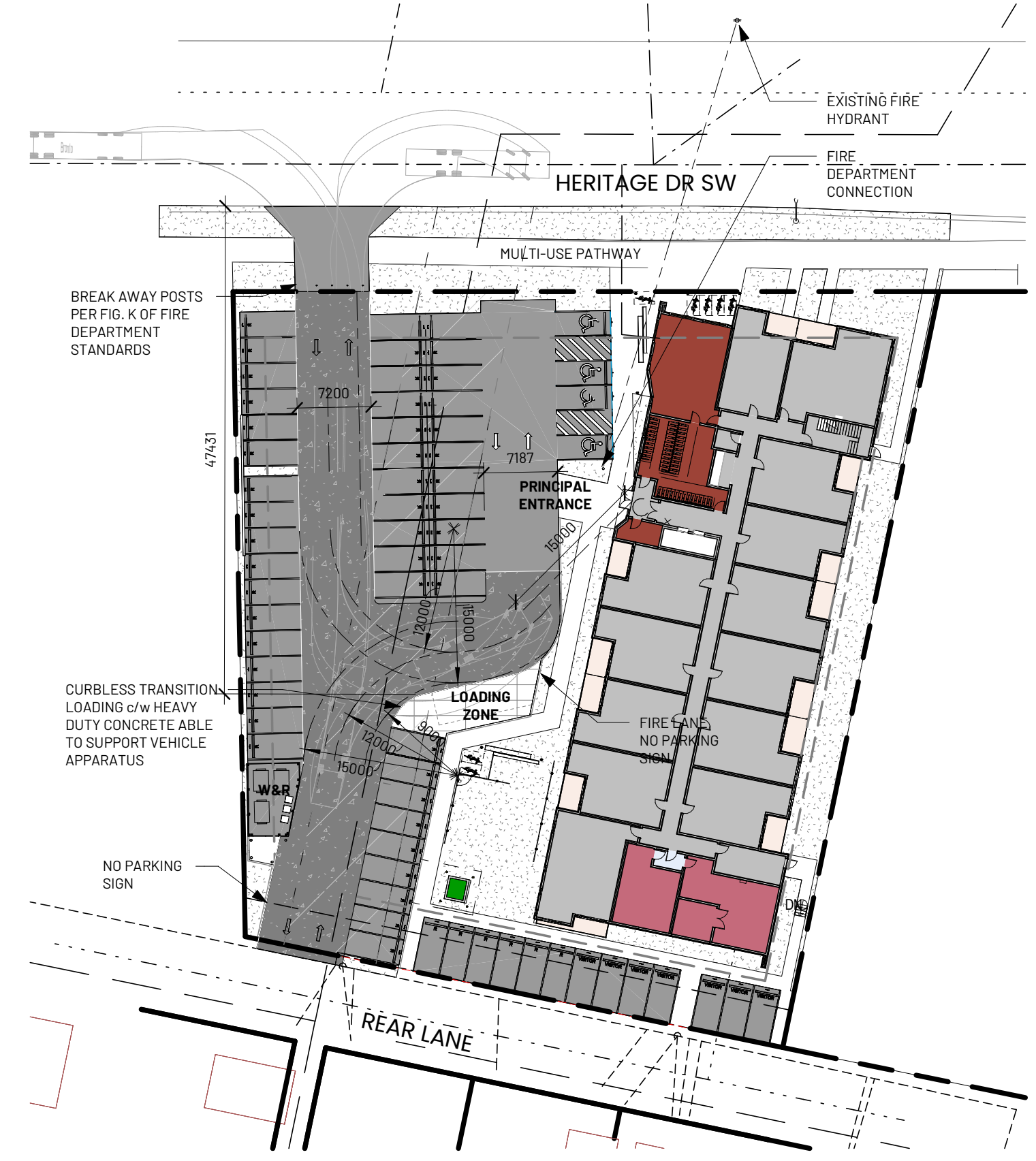
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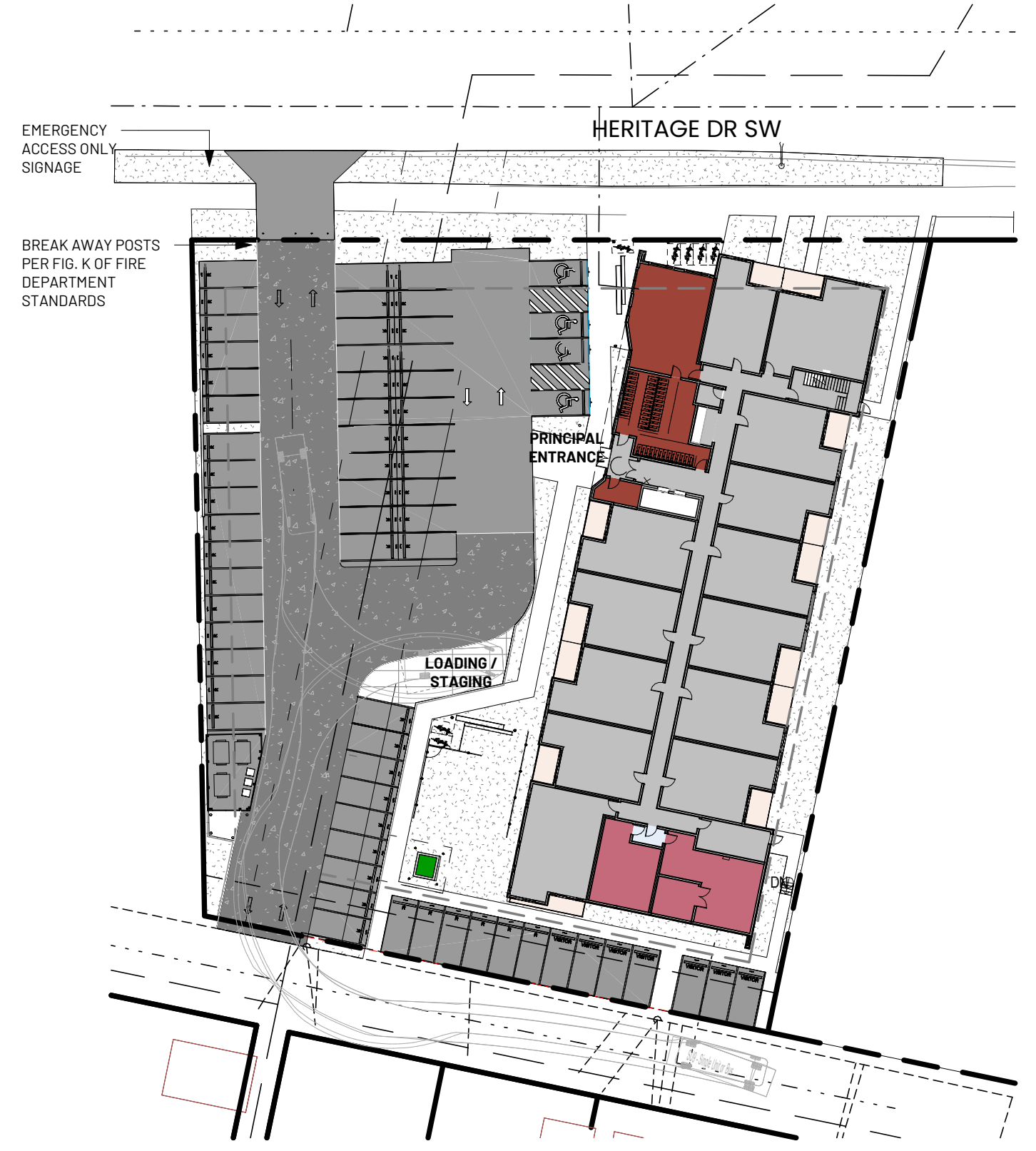
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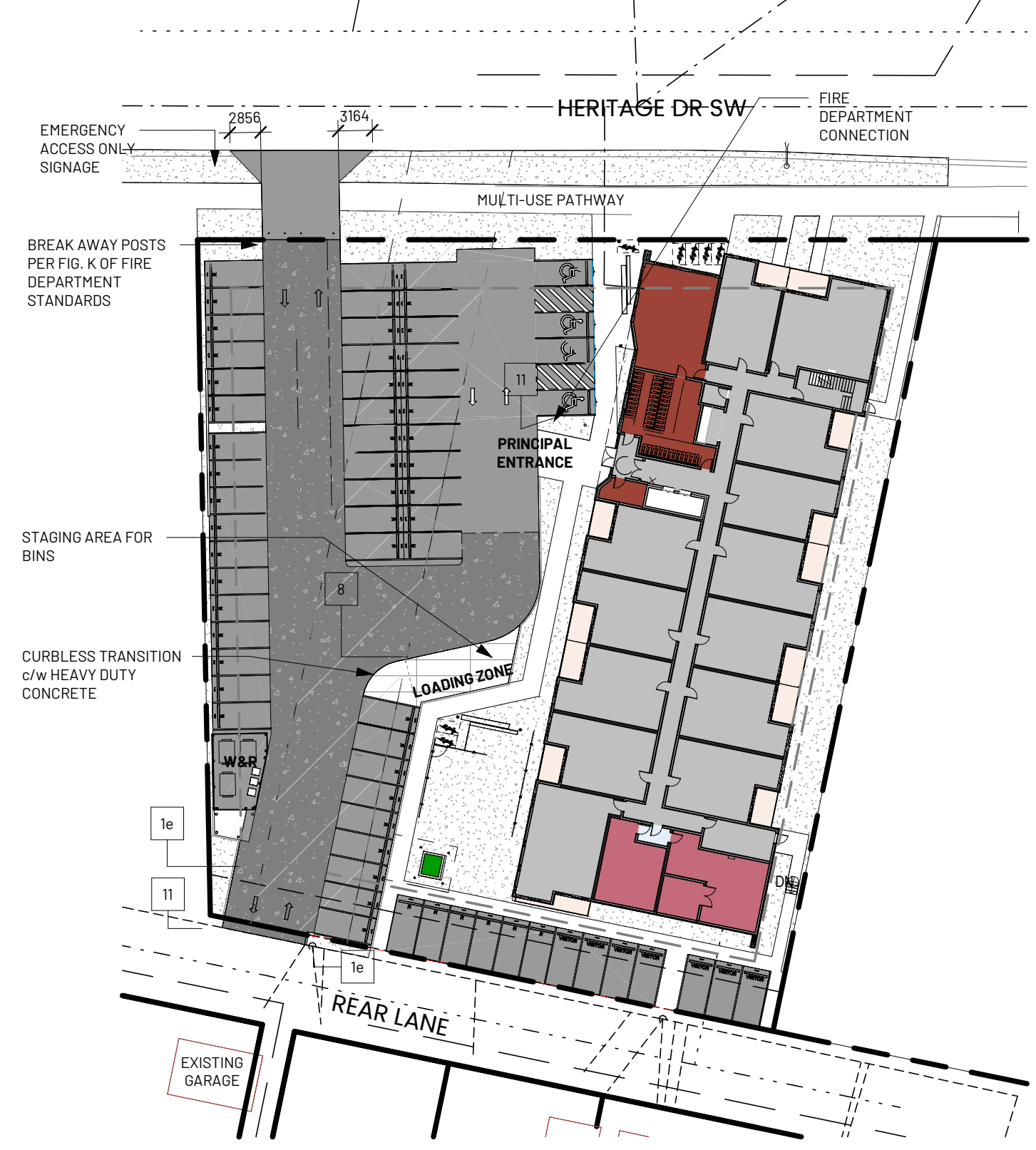
24.162



2 FIRE TRUCK SWEEPS
DP1.03 1: 500



1 SU9 LOADING SWEEPS
DP1.03 1: 500



3 W&R SWEEPS
DP1.03 1: 500

SITE LEGEND	
PROPERTY LINE	---
SETBACK LINE	- - - -
(URW) UTILITY RIGHT OF AWAY	=====
EXISTING EASEMENT	=====
SIDEWALK	=====
PATTERNED CONCRETE - SEE LANDSCAPE	=====
HEAVY DUTY ASPHALT - CAPABLE OF SUPPORTING EMERGENCY VEHICLE APPARATUS	=====
SOFTSCAPE (REFER TO LANDSCAPE)	=====
AMENITY - INTERIOR	=====
SERVICE	=====
EXTERIOR AMENITY	=====
PROPOSED LIGHT POLE REFER TO ELECTRICAL	⊙
FIRE HYDRANT (EXISTING)	⊙
GAS METER LOCATION - ON CONCRETE PAD	⊙
POWER POLE (EXISTING)	⊙
EXISTING MANHOLE	⊙
EXISTING CATCH BASIN	CB
TRAFFIC DIRECTION SYMBOL	↓ ↑

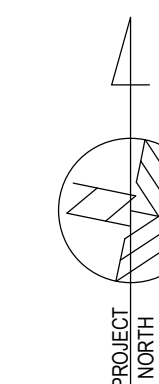
- SITE KEYNOTES**
- (a) PROPOSED 'RESIDENTIAL' PARKING SIGN
 - (b) PROPOSED 'BARRIER-FREE' PARKING SIGN
 - (c) PROPOSED 'FIRE LANE - NO PARKING' SIGN
 - (d) PROPOSED 'LOADING ZONE' SIGN
 - (e) PROPOSED 'NO PARKING' SIGN
 - (f) PROPOSED 'EMERGENCY ACCESS ONLY' SIGN
REFER TO SITE SIGNAGE DETAILS ON DP1.02
 - PROPOSED CONCRETE CURB WALL - REFER TO CIVIL
 - PROPOSED GUARD RAIL
 - PROPOSED CLASS 2 BIKE PARKING
 - DENOTES STORMWATER TANK BELOW - REFER TO CIVIL
 - PROPOSED BARRIER-FREE CURB RAMP
 - PROPOSED STANDING CURB
 - PROPOSED FLUSH CURB
 - PROPOSED TRANSFORMER OPERATIONAL CLEARANCE
 - PROPOSED FIRE DEPARTMENT CONNECTION
 - EXISTING OVERHEAD POWER LINES TO REMAIN
 - EXISTING POWER POLES TO REMAIN
 - PROPOSED BUILDING OVERHEAD
 - PROPOSED CONCRETE-FILLED BOLLARD - REFER TO DP1.02
 - PROPOSED CONCRETE WHEELSTOP TYP
 - PROPOSED EV CHARGING STALLS (6) - REFER TO ELECTRICAL
 - PROPOSED BARRIER-FREE PARKING STALL - VISITOR
 - EXISTING TREE - REFER TO LANDSCAPE
 - EXISTING TREE TO BE REMOVED - REFER TO LANDSCAPE
 - PROPOSED FENCE - SEE LANDSCAPE DETAILS
 - PROPOSED BREAKAWAY POSTS PER CITY OF CALGARY FIRE DEPARTMENT ACCESS STANDARD
 - PROPOSED CLASS 2 BIKE PARKING - REFER TO LANDSCAPE
 - PROPOSED SPECIALTY LIGHTING - REFER TO LANDSCAPE & ELECTRICAL

CITY OF CALGARY FIRE - CFD BRONTO SKYLIFT	
OVERALL LENGTH	13.930m
OVERALL WIDTH	2.570m
OVERALL BODY HEIGHT	3.203m
MIN. BODY GROUND CLEARANCE	0.208m
TRACK WIDTH	2.570m
LOCK TO LOCK TIME	6.00s
MAX STEERING ANGLE (VIRTUAL)	47.50°
SUB - SINGLE UNIT OR BUS	
OVERALL LENGTH	9.100m
OVERALL WIDTH	2.600m
OVERALL BODY HEIGHT	4.150m
MIN. BODY GROUND CLEARANCE	0.445m
TRACK WIDTH	2.600m
LOCK TO LOCK TIME	4.00s
MAX STEERING ANGLE (VIRTUAL)	12.800m

4 VEHICLE DATA
DP1.03 1: 20

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ROOF PLAN

Sheet

DP2.05

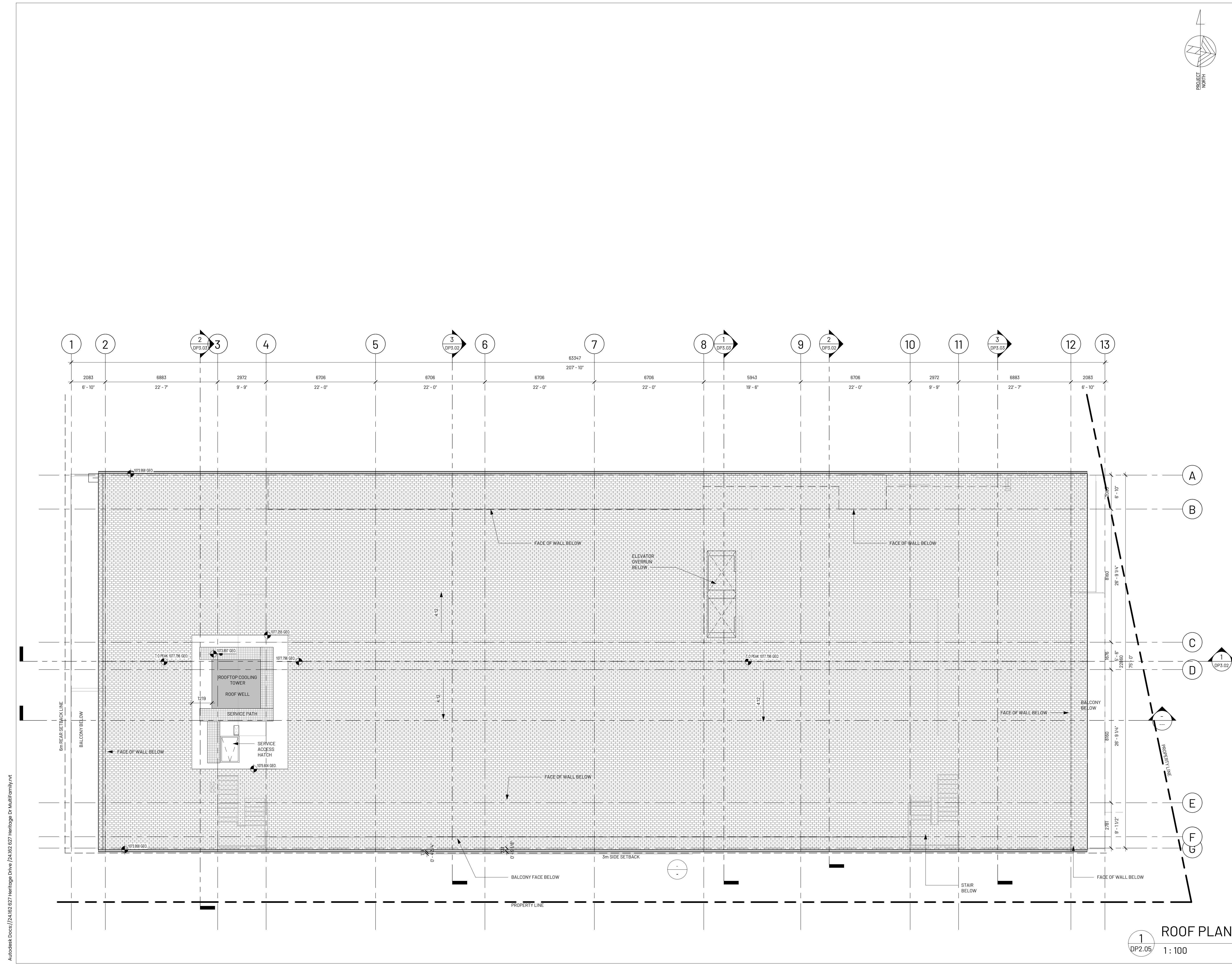
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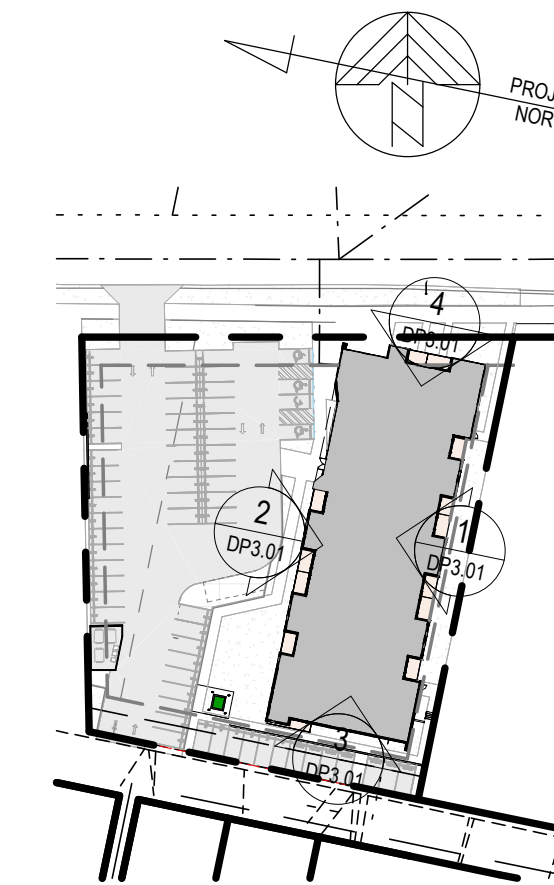
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1
DP2.05
ROOF PLAN
1 : 100





5 KEY PLAN
DP3.01 1:1200

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MATERIAL LEGEND

01	MATERIAL: PRE-FINISHED CEMENTITIOUS SHIP-LAP SIDING (VERTICAL) SMOOTH W/ HIDDEN FASTENERS COLOUR: GRAY C/W MATCHING METAL TRIMS
02	MATERIAL: THIN MODULAR BRICK VENEER c/w MATCHING ACCESSORIES COLOUR: TERRA COTTA MATTE ; CHARCOAL MORTAR
03	MATERIAL: ALUMINUM CLAD PVC WINDOWS & DOORS COLOUR: CLEAR GLASS, BLACK EXTERIOR FRAMES
04	MATERIAL: CURTAIN WALL COLOUR: CLEAR GLASS, BLACK ANODIZED FRAMES
05	MATERIAL: PREFINISHED SMOOTH PANEL & FASCIA W/ MATCHING TRIMS COLOUR: BLACK/CHARCOAL
06	MATERIAL: METAL PANEL SOFFIT, BREAKSHAPE (TRIM) & WALL ACCENT COLOUR: BRONZE SHINNY FINISH
07	MATERIAL: ASPHALT SHINGLE COLOUR: BLACK
08	MATERIAL: PREFINISHED METAL PICKET RAILING COLOUR: BLACK
09	MATERIAL: PRIVACY SCREEN, 6" W/ PREFINISHED METAL FRAME COLOUR: BLACK FRAME c/w OBSCURED GLASS
10	MATERIAL: INSULATED METAL DOOR COLOUR: BLACK
11	MATERIAL: PREFINISHED CEMENTITIOUS PANEL SMOOTH c/w MATCHING METAL TRIMS COLOUR: TO MATCH #01
12	MATERIAL: INSULATED SPANDREL GLASS COLOUR: ANODIZED BLACK FRAME, DARK GRAY GLASS
13	MATERIAL: ALUMINUM FRAME w/ INSULATED SPANDREL GLASS COLOUR: ANODIZED BLACK FRAME, DARK GRAY GLASS
14	MATERIAL: EXTERIOR WALL-MOUNTED LIGHT FIXTURE COLOUR: BLACK METAL - REFER TO ELECTRICAL.
15	MATERIAL: PAVING, MAXIMUM 24" COLOUR: GRAY
16	MATERIAL: CURTAINWALL w/ OBSCURED GLASS COLOUR: BLACK ANODIZED FRAME, FROSTED GLASS
17	MATERIAL: METAL LOUVRE COLOUR: BLACK

- GENERAL NOTES
- ALL METAL LOUVRES, CAP FLASHING DOWNSPOUTS AND RAINWATER LITRES TO BE BLACK UNLESS NOTED OTHERWISE.
 - SITE SIGNAGE TO BE PART OF FUTURE DP APPLICATION - SHOWN IN RENDERINGS FOR REFERENCE ONLY.
 - COLOURS AND MATERIALS SELECTED ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTION SUBJECT TO MANUFACTURER AVAILABILITY AND PRICING. MATERIAL ALTERNATES/SUBSTITUTIONS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
 - DOWNSPOUT LOCATIONS TO CONNECT TO STORM SYSTEM, AS DESIGN BY CIVIL CONSULTANT. FINISH BLACK U.N.O.
 - ALL ITEMS ARE PROPOSED UNLESS NOTED OTHERWISE AS EXISTING.

Seal

NOT FOR CONSTRUCTION

Permit

Consultant



310, 625 11 Ave SW
Calgary, AB T2K 0E1
T: 403.264.6700

200, 11460 Jasper Ave NW
Edmonton, AB T5K 0M1
T: 780.490.5330

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Drawing Title

BUILDING ELEVATIONS

Sheet

DP3.01

Scale Project No.
As indicated 24.162



3 PROJECT WEST
DP3.01 1:200



2 PROJECT NORTH
DP3.01 1:200



4 PROJECT EAST
DP3.01 1:200



1 PROJECT SOUTH
DP3.01 1:200



1 Overall plan
Scale: 1:250

Site Information

Address:	627 Heritage Drive SW Calgary, AB
City of Calgary Zoning:	MU-1 Mixed Use

Landscape Statistics

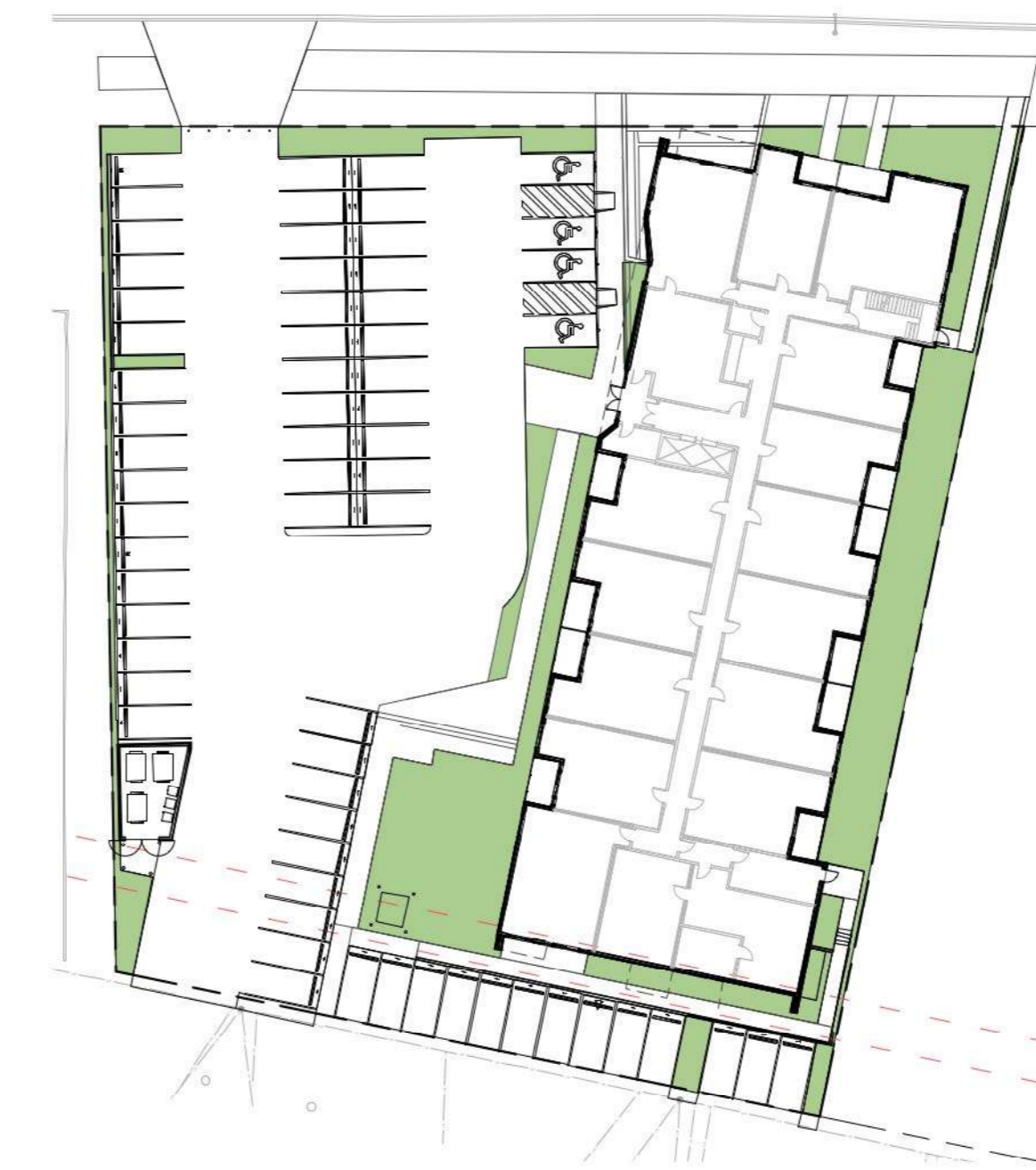
Landscape area provided	569.17 sq m
Soft Landscape area	569.17 sq m

Tree requirements

1 tree per 45 sq m	Total	required	provided
		12.6	27
Deciduous Trees		9.5	21.00
75mm cal		4.7	15
50mm cal		4.7	6
Coniferous Trees		3.2	6.00
3m height		1.6	6.00

Shrub Requirements

2 Shrubs per 45 sq m	Total	required	provided
		25.3	80
Deciduous			80.00



2 landscape area calculations
Scale: 1:500

Plant List

Qty	Common Name	Botanical Name
-----	-------------	----------------

Ornamental Grasses and Groundcovers

Shrubs

Qty	Common Name	Botanical Name
	Coniferous	
	Deciduous	
40	Alpine Currant	Ribes alpinum
2	Dwarf Korean Lilac (tree form)	Syringa meyeri 'Palibin (tree form)'
31	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'
7	Purple Emperor Coneflower	Echinacea purpurea 'Purple Emperor'

Trees

Qty	Common Name	Botanical Name
	Coniferous	
6	Lodgepole Pine	Pinus contorta 'var. latifolia'
	Deciduous	
8	Dakota Pinnacle Birch	Betula platyphylla 'Fargo'
7	Green Ash	Fraxinus pennsylvanica
6	Red Rocket Red Maple	Acer rubrum 'Red Rocket'

legend

trees

- lodgepole pine
min 3m height
- pinnacle birch
min 85 mm cal
- green ash
min 85 mm cal
- red rocket maple
min 85 mm cal

shrubs

- alpine currant
min 600mm ht or spread
- dwarf korean lilac
min 600mm ht or spread
- little devil ninebark
min 600mm ht or spread
- purple emperor coneflower
min 600mm ht or spread

grasses and groundcovers

- wood mulch
- fine ground
- drought tolerant sod



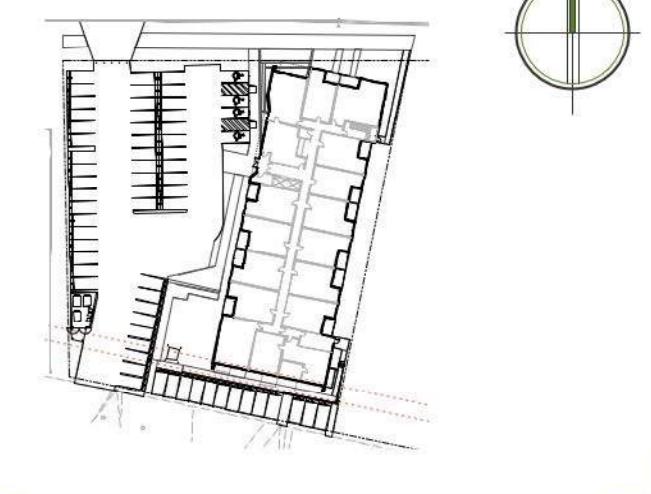
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 - Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards.
- Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

Irrigation Notes

- All landscape areas shall be watered by an automatic underground irrigation system as per municipal standards.
- Water delivery to be limited to trees and shrub beds. Spray heads only within areas with sod.
- Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. Ensure power and water meters are properly installed and operating prior to utilization of the system.

Key Plan



3	development permit	24.12.16
2	review and coordination	24.12.11
1	review and coordination	24.11.28
	Issued for:	Date: (yy.mm.dd)

Project No: 29-002
Project Title:

**627 Heritage Drive
Mixed-Use**

Calgary, A.B.

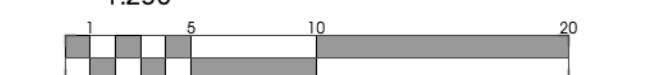
Drawing Title:

Overall Landscape Plan

Drawn by: cmp Drawing No:

Checked by: cmp **L-01**





Scale: 1:250





legend

trees

-  lodgepole pine
min 3m height
-  pinnacle birch
min 85 mm cal
-  green ash
min 85 mm cal
-  red rocket maple
min 85 mm cal

shrubs

-  alpine currant
min 600mm ht or spread
-  dwarf korean lilac
min 600mm ht or spread
-  little devil ninebark
min 600mm ht or spread
-  purple emperor coneflower
min 600mm ht or spread

grasses and groundcovers

-  wood mulch
fine ground
-  drought tolerant sod



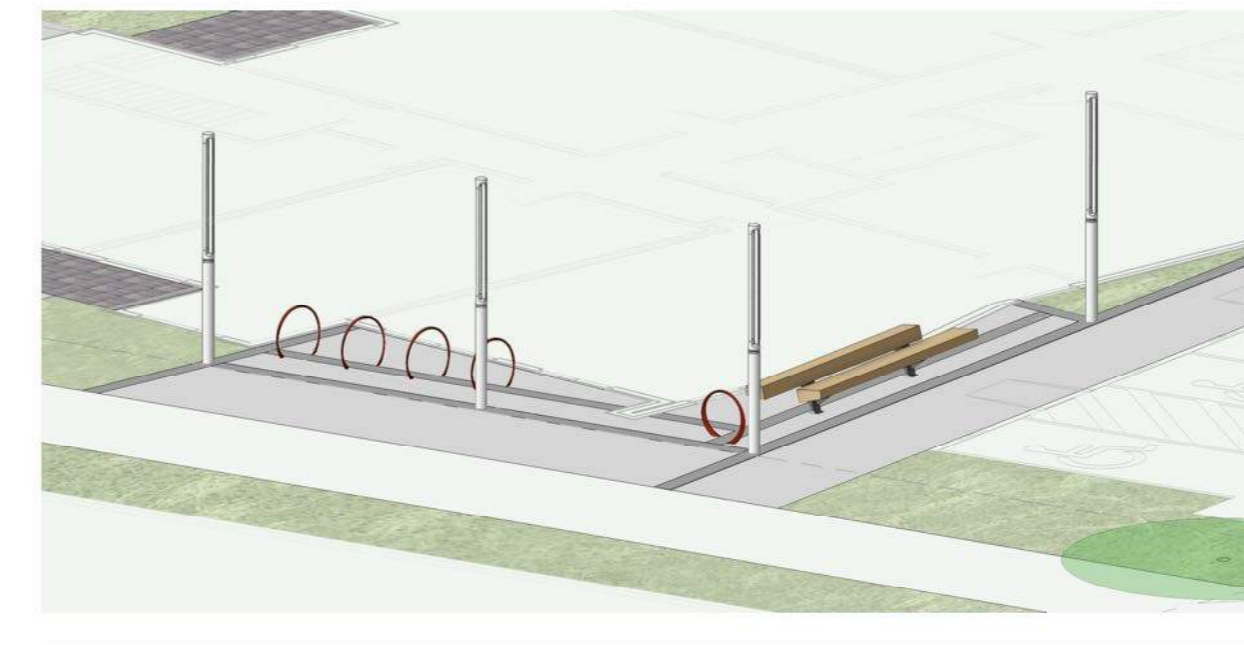
Proposed light columns
Landscapeforms Outline 10' columns
Titanium powdercoat colour and wood
Surface mount



Proposed Bench
Landscapeforms Trapecio bech
Titanium powdercoat colour and wood
Surface mount



Proposed bike rack
Landscapeforms Loop bike rack
Red powdercoat colour
Surface mount



schematic perspective of entry plaza with sitting, bike racks and light columns



schematic perspective of sitting area and dog play area behind

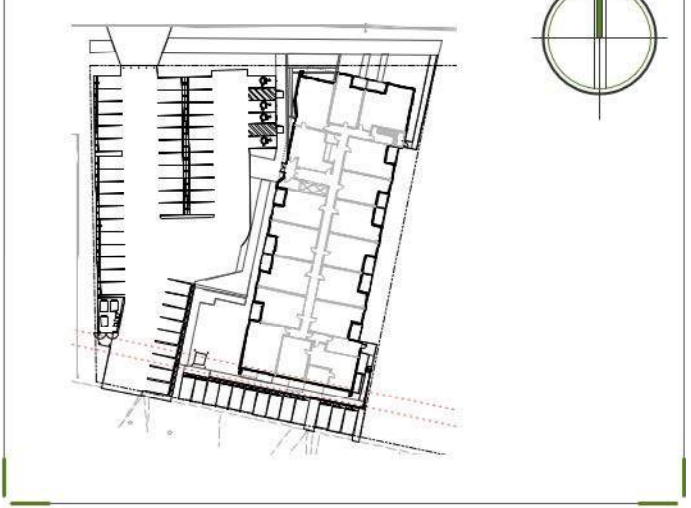
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Irrigation Notes

1. All landscape areas shall be watered by an automatic underground irrigation system as per municipal standards.
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3. Contractor is responsible for coordination with other trades and subcontractors regarding the specifics of the system, including location of power and water sources. Ensure power and water meters are properly installed and operating prior to utilization of the system.

Key Plan



3	development permit	24.12.16
2	review and coordination	24.12.11
1	review and coordination	24.11.28
Issued for:		Date: (yy.mm.dd)

Project No: 29-002

Project Title:
**627 Heritage Drive
Mixed-Use**
Calgary, A.B.

Drawing Title:
Landscape Plan

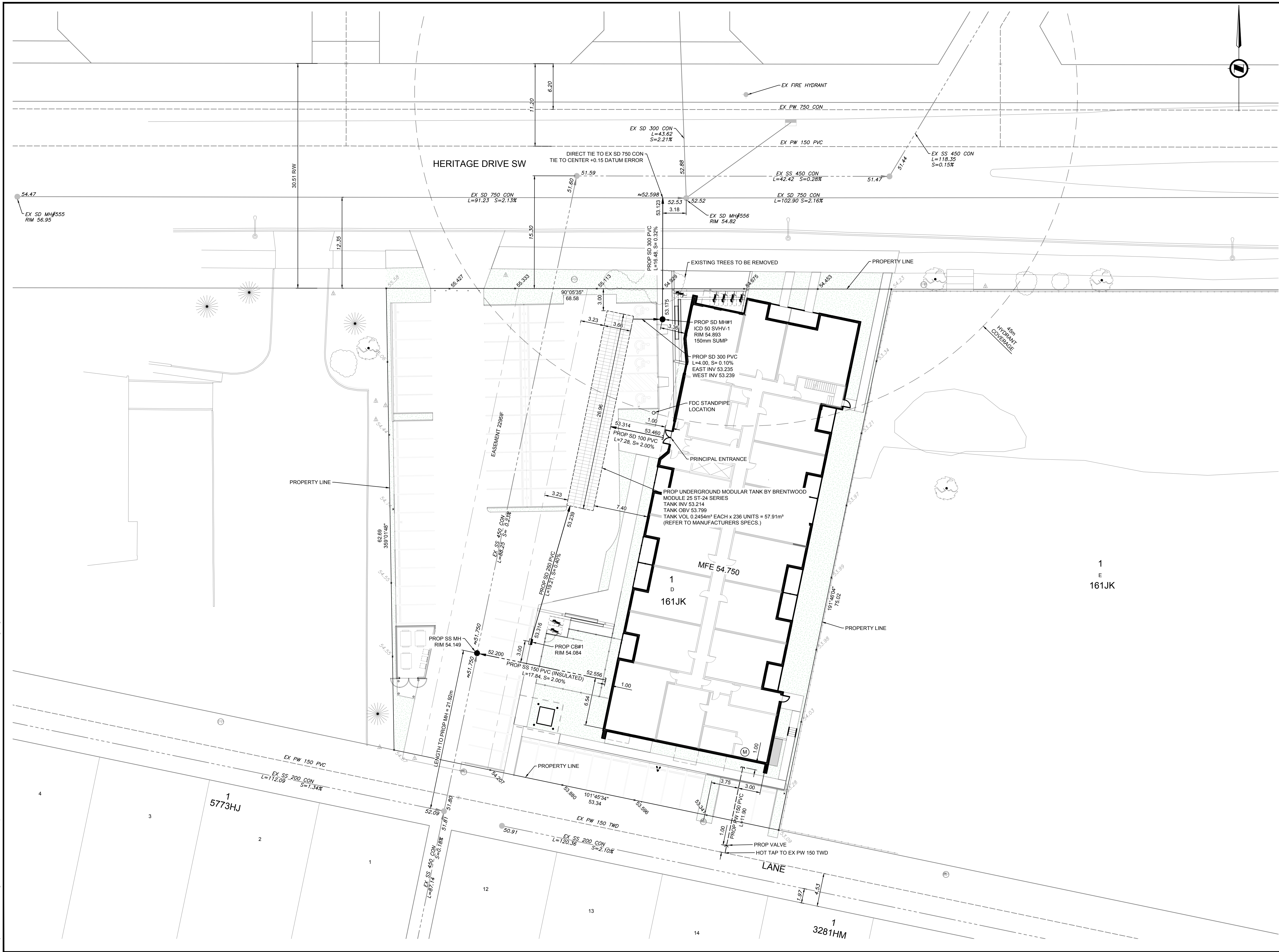
Drawn by: cmp
Checked by: cmp
Drawing No: **L-02**

Scale: 1:175



PLOTTED DATE: 2024-12-19 10:27:15 AM PLOTTED BY: MAHMOUD BORROOT

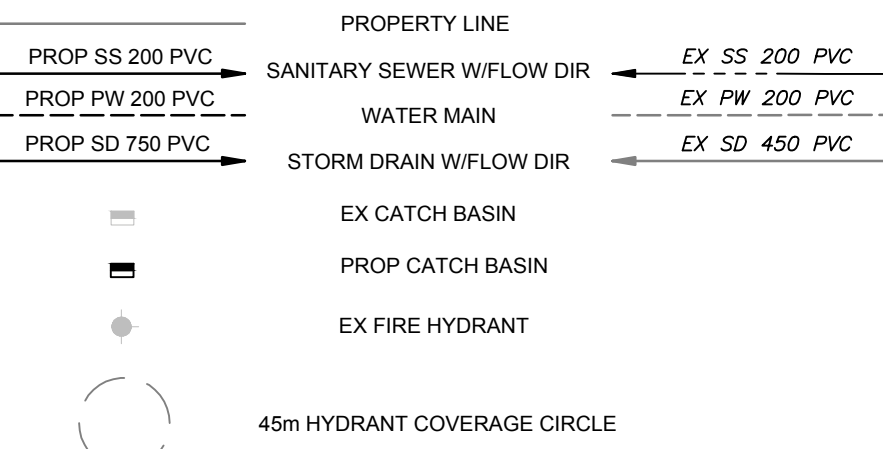
J:\Projects\24242.E01 - Heritage Drive Mixed-Use Site Development\0 - CAD\02 - Current\SUBMISSION SET - DSSP\24242.E01 - Site Servicing.dwg Dec 19, 2024 - 10:27am



NOTES

1. ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
2. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
3. ALL PROPOSED GRADES ARE REFERENCED TO 1000 GEODETIC DATUM.
4. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.

LEGEND



ISSUED				
DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD	
0 ISSUED FOR DP	2024-12-18	MB	MA	

REVISIONS				
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
PERMIT				

DESIGNED	BY	DATE (YYYY-MM-DD)
	MB	2024-12-16
DRAWN	BY	DATE (YYYY-MM-DD)
	MB	2024-12-16
CHECKED	BY	DATE (YYYY-MM-DD)
	TT	2024-12-17

SCALE 0 5 10 m
1:250

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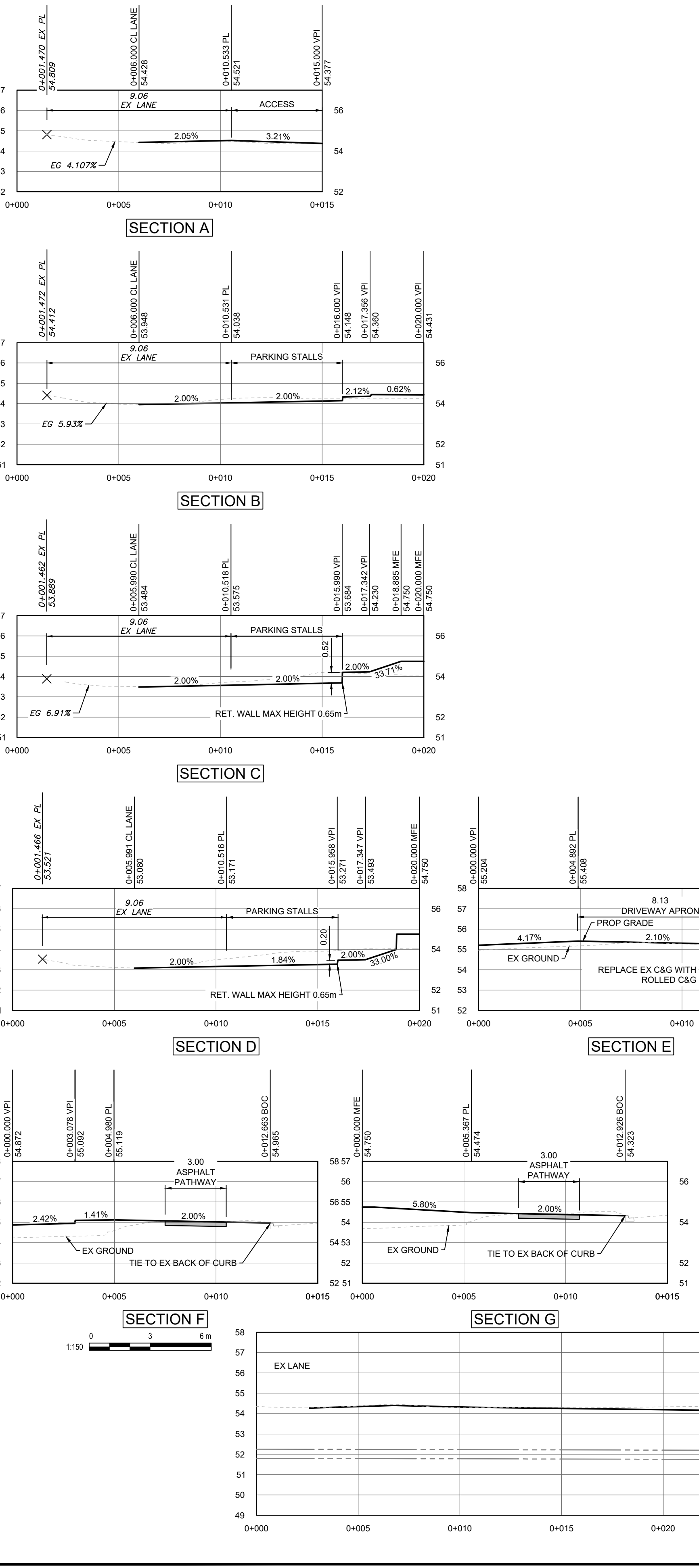
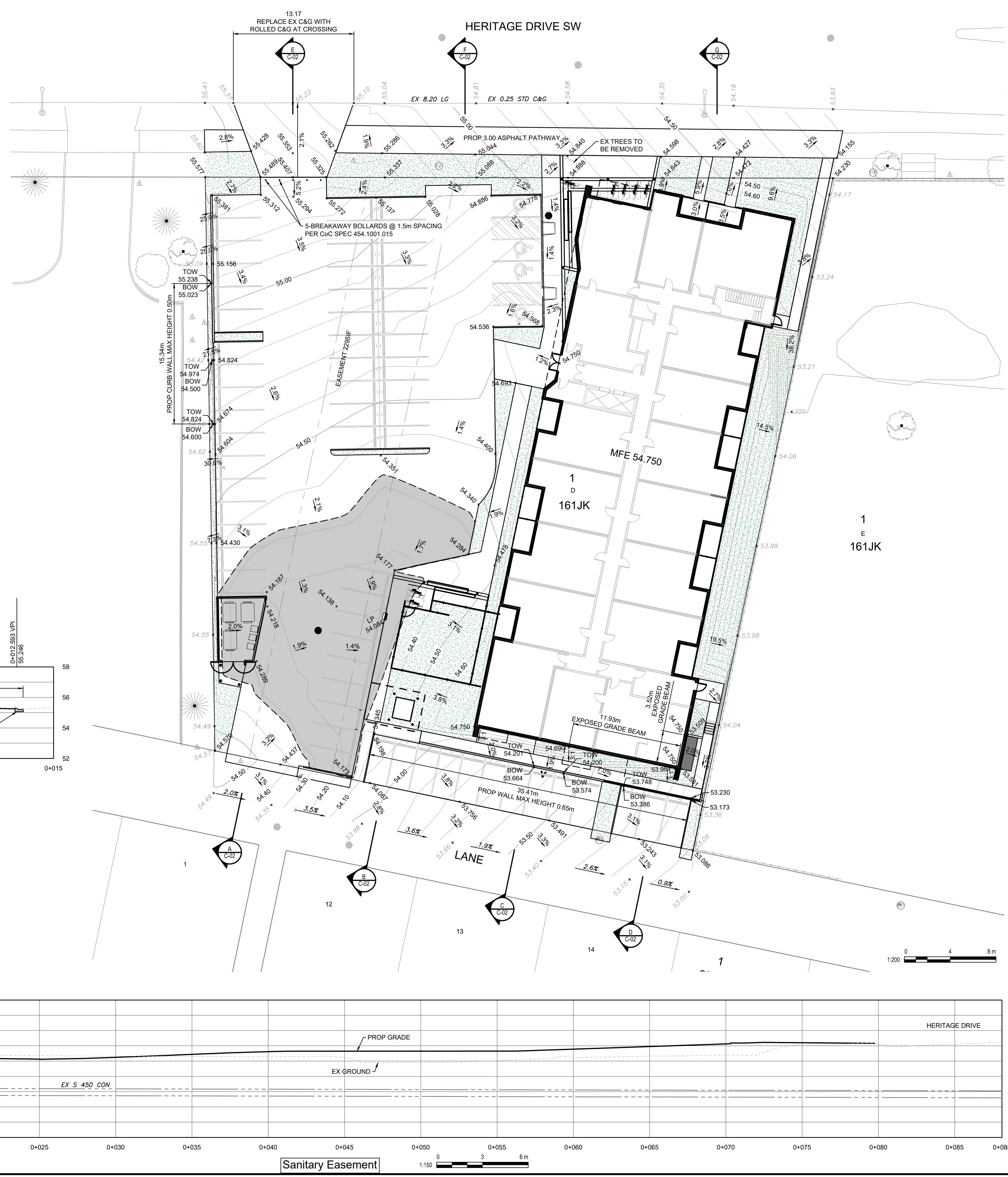
PROJECT
627 HERITAGE DRIVE MIXED-USE DEVELOPMENT

SHEET TITLE
SITE SERVICING PLAN

WORK ORDER NO.	ACTIVITY NO.	
FILE NO.	ENG DWG NO.	
SHEET ID. C-01	SHEET NO.	
BY MB	DATE 2024-12-10	PROFILE NO.

PLOTTED DATE: 2024-12-16 10:18:11 AM PLOTTED BY: MAHMOUD BORROOT

J:\Projects\24242.E01 - Heritage Drive Mixed-Use Site Development\0 - CAD\02 - Current\SUBMISSION SET - DSSP\24242.E01 - Site Grading.dwg Dec 19, 2024 - 10:18:11am



- ### NOTES
1. ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
 2. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 3. ALL PROPOSED GRADES ARE REFERENCED TO 1000 GEODETIC DATUM.
 4. ALL GRADE POINTS AT CURB LOCATIONS ARE AT THE EDGE OF THE ASPHALT PAVEMENT.
 5. ALL CURBS ARE 150mm PIN CURBS UNLESS OTHERWISE NOTED
 6. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.

LEGEND

- 54.00 — PROPERTY LINE
- 53.50 — PROP MAJOR GROUND CONTOURS
- — PROP MINOR GROUND CONTOURS
- — PROP CURB & CONCRETE SIDEWALKS
- X 15.05 — EXISTING GROUND ELEVATION
- X 18.25 — PROPOSED GRADE ELEVATION
- — EX CATCH BASIN
- — PROP CATCH BASIN
- — EX FIRE HYDRANT
- ◆ — PROP FIRE HYDRANT
- — PROP LANDSCAPE AREA

ISSUED				
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
0	ISSUED FOR DP	2024-12-18	MB	MA

REVISIONS				
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
PERMIT				

DESIGNED	BY	DATE (YYYY-MM-DD)
	MB	2024-12-16
DRAWN	BY	DATE (YYYY-MM-DD)
	MB	2024-12-16
CHECKED	BY	DATE (YYYY-MM-DD)
	TT	2024-12-17

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PROJECT
627 HERITAGE DRIVE MIXED-USE DEVELOPMENT

SHEET TITLE
SITE GRADING PLAN

WORK ORDER NO.	ACTIVITY NO.	
FILE NO.	ENG DWG NO.	
SHEET ID. C-02	SHEET NO.	
DRAWN MB	DATE 2024-12-10	
BY	DATE (YYYY-MM-DD)	PROFILE NO.

627 HERITAGE DRIVE

627 HERITAGE DRIVE SW
CALGARY, AB
1 D, 161JK



Issued/ Revision Schedule

no.	description	date
1	Issued for DDevelopment Permit	2024-12-20



December 20, 2024
ID# 074236

PERMIT TO PRACTICE
NEMETZ (S/A) & ASSOCIATES LTD.
Signature _____
Date: December 20, 2024
PERMIT NUMBER: P 08706
The Association of Professional Engineers,
Geologists and Geophysicists of Alberta

APEGA ID# 074236

NEMETZ (S/A) & ASSOCIATES LTD.
CONSULTING ENGINEERS
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214 KING ST. WEST, SUITE 214 TORONTO, ON M5H3Z6
T E L: (647) 253 - 0086 F A X: (647) 253 - 2085
2 0 0 9 WEST 4 TH AVENUE, VANCOUVER, BC V6J1N3
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METAFOR ARCHITECTURE INC.

Drawing Title
LUMINAIRE SCHEDULE

Sheet
DP E-103

Scale Project No.

LUMINAIRE SCHEDULE		PROJECT NO: C254			
NOTES					
1. LIGHTING IS DESIGNED TO COMPLY WITH ENERGY CODE. THE CONTRACTOR SHALL NOT CHANGE LIGHTING WITHOUT ENGINEERS APPROVAL.					
2. INSTALLATION OF ALL PARKADE LIGHTING FIXTURES TO BE CLEAR OF ALL OBSTRUCTIONS IN ORDER TO MAINTAIN PROPER LIGHT LEVELS. MINIMUM CLEAR HEIGHT FOR LIGHT FIXTURE TO BE 7'-6" (2.3m) ABOVE HANDICAP PARKING STALLS AND ACCESS ROUTE TO HANDICAP PARKING STALLS; 7'-0" (2.1m) ABOVE REGULAR STALLS AND DRIVEWAYS, UP TO 12'-0" (3.6m) MAXIMUM. WHERE THE MINIMUM HEIGHT ABOVE STALLS IS NOT ATTAINABLE, WIRE GUARDS MUST BE USED. ALL LIGHT FIXTURES ABOVE DRIVE AISLES REQUIRE WIREGUARD PER C.E.C.					
3. LIGHTING IN MECHANICAL ROOMS, SERVICE ROOMS, CORRIDORS AND PARKADE TO BE SUSPENDED AS NECESSARY TO CLEAR MECHANICAL LINES AND DUCTS.					
4. LIGHTING IN SPRINKLER MECHANICAL ROOMS AND ELECTRICAL ROOMS SHALL BE ON EM POWER.					
5. SURFACE MOUNTED WALL LIGHTS SHALL NOT BE SET LOWER THAN 6'-8" (2050mm) TO CENTER OF OUTLET BOX WITHOUT SPECIAL PERMISSION FROM ELECTRICAL INSPECTOR.					
6. ALL RECESSED LIGHTS LOCATED IN INSULATED CEILINGS MUST BE SUPPLIED C/W I.C. RATED HOUSINGS.					
7. ANY CONTRACTOR PROPOSED ALTERNATE LIGHT FIXTURE IN LIEU OF SPECIFIED SHALL BE SUBJECT TO APPROVAL BY THE DESIGNER AND ENGINEER. SUBMIT A BREAKDOWN OF COST SHOWING THE NET DIFFERENCE TO THE DEDUCTED OR ADDED TO THE TENDER PRICE IF ACCEPTED. INCLUDE FOR AND ASSUME RESPONSIBILITY FOR ANY ADDITIONAL COST INCURRED BY OTHER DISCIPLINES AND TRADES, RESULTING FROM SUBSTITUTION AS WELL AS LIGHTING SYSTEM PERFORMANCE.					
8. E.C. TO ENSURE ALL LINEAR AND COMPACT FLUORESCENT LAMPS TO BE SUPPLIED AND INSTALLED ARE LOW MERCURY, WITH AVERAGE MERCURY CONTENT OF 70 PICOGRAMS PER LUMEN-HOUR OR BELOW.					
9. ALL LIGHTING TO BE CSA OR CUL APPROVED AS A SYSTEM.					
10. ALL LUMINAIRES CONTROLLED BY OCCUPANCY SENSOR MUST BE SUPPLIED WITH COMPATIBLE ELECTRONIC PROGRAM START BALLASTS.					
11. MINIMUM CLEAR HEIGHT FOR LUMINAIRES LOCATED IN EXITS, EXIT CORRIDORS, PUBLIC AND OTHER MEANS OF EGRESS TO BE 7'-0" (2.1m).					
LIGHTING FIXTURE SCHEDULE		PROJECT NO: C252			
DATE: 2024-12-20					
Nemetz Type	Description	Location	Control *	Lamp	Mounting
LANDSCAPE AND EXTERIOR					
	Nemetz Type				
	DD	LITHONIA LIGHTING RSX1 LED P1 30K R45 C/W POLE & MOUNTING ACCESSORIES, ARCHITECT TO CONFIRM FINISH	PARKADE POLE	51W LED 3000K	INGROUND MH:14'
	HH	LANDSCAPE FORMS OUTLINE 10' COLUMN DW200-10-SO-30K-T3	BOLLARD	20W LED 3000K1260 LUMENS	INGROUND MH:10'
	JJ	BEGA 33817K30	EXTERIOR WALL	13.9W LED 3000K 1355LUMEN	SURFACE/WALL
	KK	LITHONIA LIGHTING LLP4 13LM 30K MVOT G4 80CRI ZT HW XX WET (CONFIRM FINISH WITH ARCHITECT)	CANOPY	11.7W LED 3000K 1300 DEL. LUMENS	RECESSED/ CEILING
		OPTION 2: JUNO LIGHTING JSF 7IN 10LM SWWS 90CRI 120V FRPC WH TO C/W REQUIRED ACCESSORIES		12W LED 3000K	SURFACE/CEILING
REFER TO ID FOR QTY, EXACT MOUNTING AND LOCATION					
	6	SISTEMALUX: SLOT ROUND S3815	PATIO/BALCONY	ON/OFF SWITCH	15.3W LED 3000K 904 LUMENS SURFACE/WALL