

ECC_8224

8224 ELBOW DR. S.W.



DEVELOPMENT PERMIT SET

AUGUST 29, 2023

DRAWING LIST:

DP.000	COVER
DP.001	BLOCK PLAN
DP.002	SITE DETAILS
DP.L01	LANDSCAPE PLAN
DP.100	SITE PLAN
DP.101	LOWER FLOOR PLAN
DP.102	MAIN FLOOR PLAN
DP.103	SECOND FLOOR PLAN
DP.104	THIRD FLOOR PLAN
DP.105	ROOF PLAN
DP.106	GARAGE PLAN AND ELEVATIONS
DP.200	ELEVATIONS
DP.201	ELEVATIONS
DP.202	ELEVATIONS
DP.300	BUILDING SECTION
S.01	SURVEY PLAN

PROJECT INFORMATION:

PARCEL ADDRESS

LEGAL: LOTS 39, BLOCK 8, PLAN 5375 HH
MUNICIPAL: 8224 ELBOW DRIVE S.W.
CALGARY, A.B.

COMMUNITY: KINGSLAND

CURRENT ZONING: R-C1
PROPOSED ZONING: H-GO

PROPOSED GROSS BUILDING AREA - A

FLOOR	GROSS AREA PER DWELLING
LOWER	127.97 sm (1377 sf)
MAIN	127.97 sm (1377 sf)
SECOND	133.26 sm (1434 sf)
THIRD	118.51 sm (1276 sf)
TOTAL:	507.70 sm (5465 sf)

PROPOSED GROSS BUILDING AREA - B

FLOOR	GROSS AREA PER DWELLING
LOWER	127.97 sm (1377 sf)
MAIN	127.97 sm (1377 sf)
SECOND	133.26 sm (1434 sf)
THIRD	118.51 sm (1276 sf)
TOTAL:	507.70 sm (5465 sf)

H-GO BYLAW REGULATIONS

BUILDING SETBACKS

	PERMITTED
FRONT (WEST)	3.0m (ELBOW DRIVE S.W.)
SIDE (NORTH)	1.2m (LOT 40)
REAR (EAST)	1.2m (LANE)
SIDE (SOUTH)	1.2m (LOT 38)

ACCESSORY SETBACKS

	PERMITTED
SIDE (NORTH)	1.2m
REAR (EAST)	1.2m
SIDE (SOUTH)	1.2m

PARCEL COVERAGE

PARCEL AREA = 772.90 sm (7781 sf)
BUILDING FOOTPRINT = 367.25 sm (3953 sf)
PARCEL COVERAGE ALLOWED = 60%
TOTAL = 47.5%

FAR

MAXIMUM FLOOR AREA RATIO = 1.5
TOTAL PROVIDED = 1.46

VEHICULAR PARKING

REQUIRED = 0.5 STALLS PER DWELLING UNIT OR SUITE
12 UNITS/SUITES X 0.5 STALLS = 6 STALLS
TOTAL RESIDENTIAL STALLS = 6 STALLS PROPOSED

MOBILITY STORAGE

REQUIRED MOBILITY STORAGE LOCKERS = 0.5 LOCKERS PER UNIT OR SUITE
12 UNITS/SUITES X 0.5 LOCKERS = 6 LOCKERS
TOTAL MOBILITY STORAGE LOCKERS = 2 LOCKERS PROPOSED

BICYCLE PARKING STALLS

BICYCLE PARKING STALLS - CLASS 1 = REQUIRED 1 STALL PER UNIT OR SUITE WHERE IS NOT PROVIDED A VEHICLE PARKING STALL OR MOBILITY STORAGE LOCKER
**TOTAL STALLS REQUIRED = 4
4 STALLS PROPOSED**

UNIT MIX:

6 TOWNHOUSE UNIT
6 SECONDARY SUITES

FAAS

FORMED ALLIANCE ARCHITECTURE STUDIO

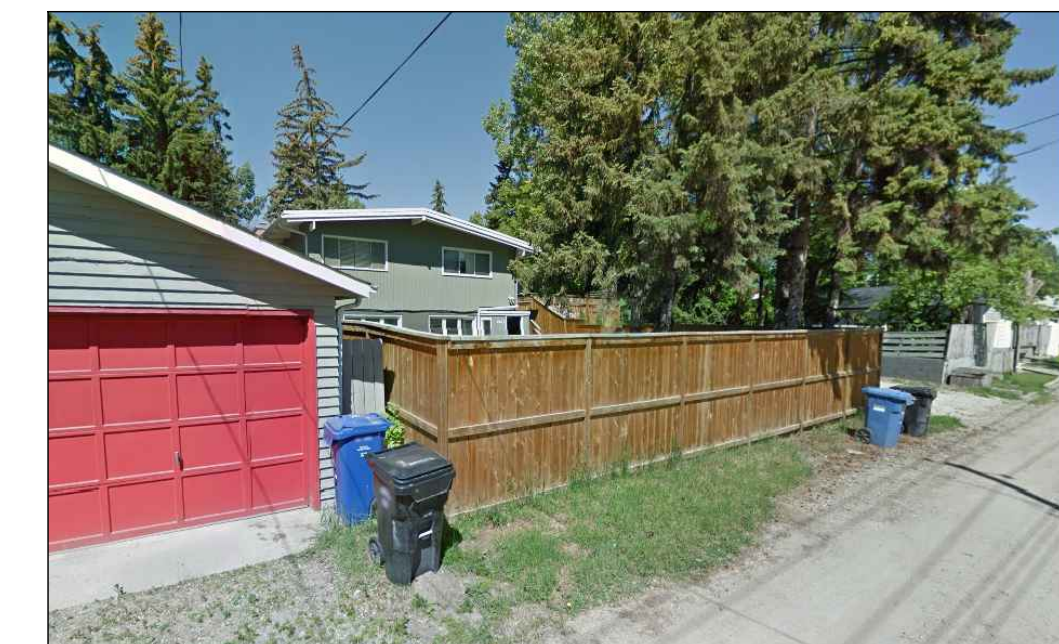
- SHEET NOTES**
- N.01** PROPOSED BUILDING
 - N.02** PROPOSED GARAGE AND BICYCLE STORAGE
 - N.03** EXISTING BUILDING TO BE REMOVED



VIEW 1 - NW CORNER



VIEW 2 - SW CORNER



VIEW 3 - SE CORNER



VIEW 4 - NE CORNER

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	08-29-2023

ECC_8224

MANUFACTURER ADDRESS
8224 ELBOW DRIVE S.W.

LEGAL ADDRESS
L: 39 B: B P: 5375 HH

PROJECT NO:
23.32.ECC_8224

DESIGNER
SW DP

DATE
AUG.29.2023

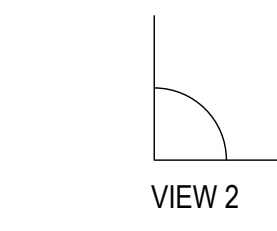
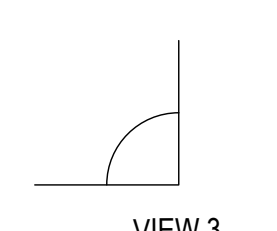
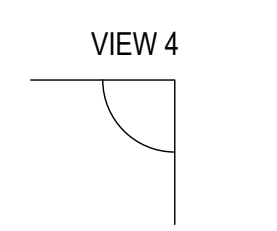
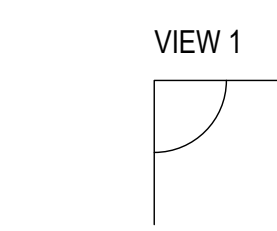
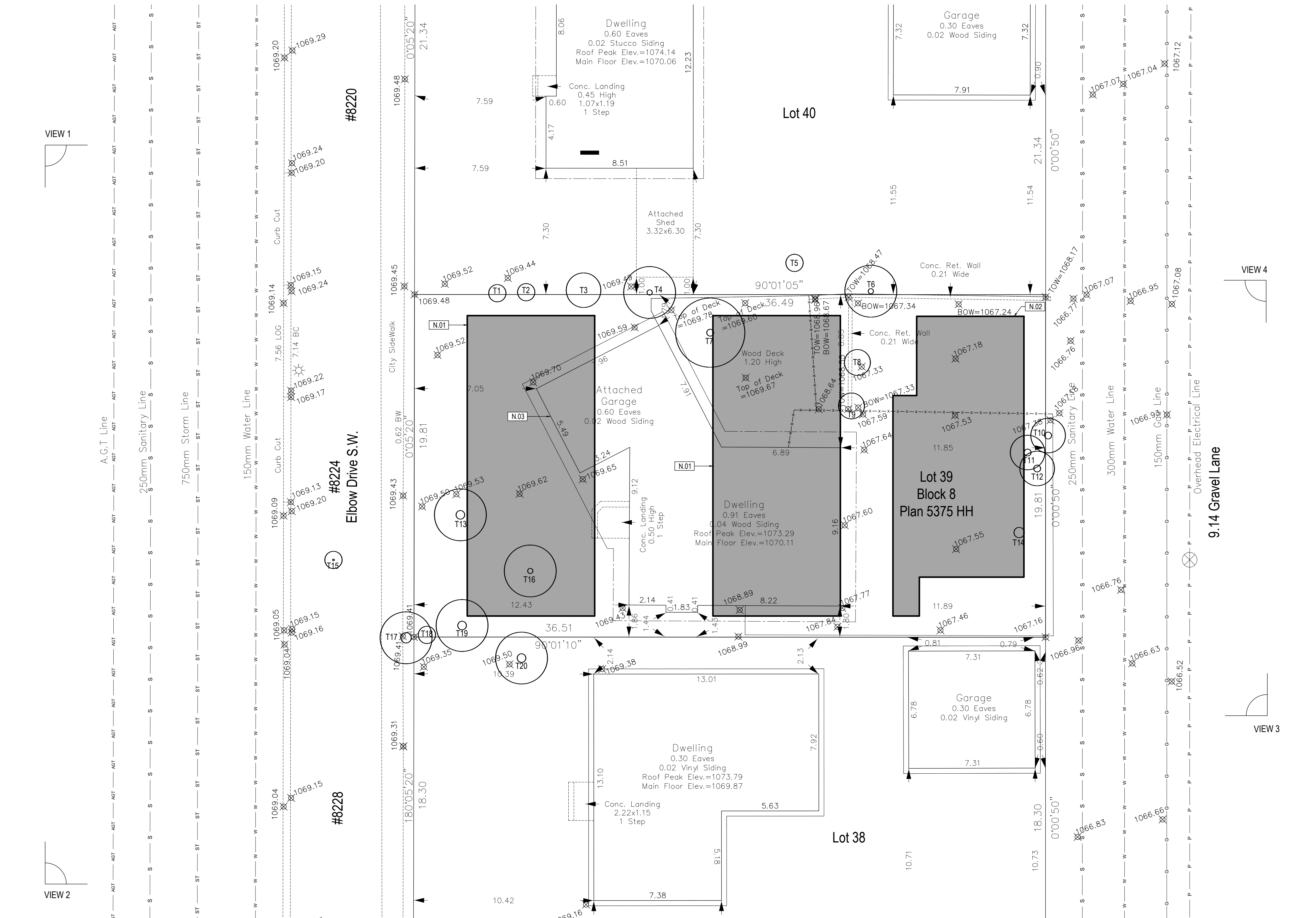
SCALE
AS NOTED

DRAWING TITLE
BLOCK PLAN

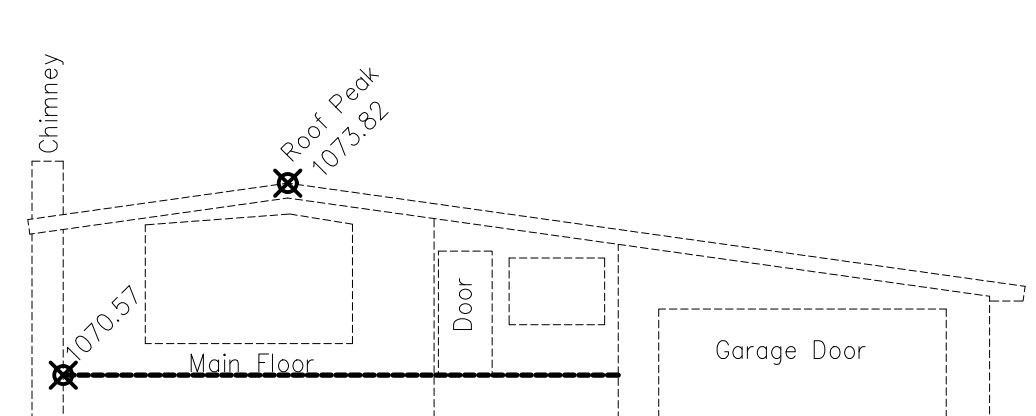
DRAWING NUMBER

DP.001

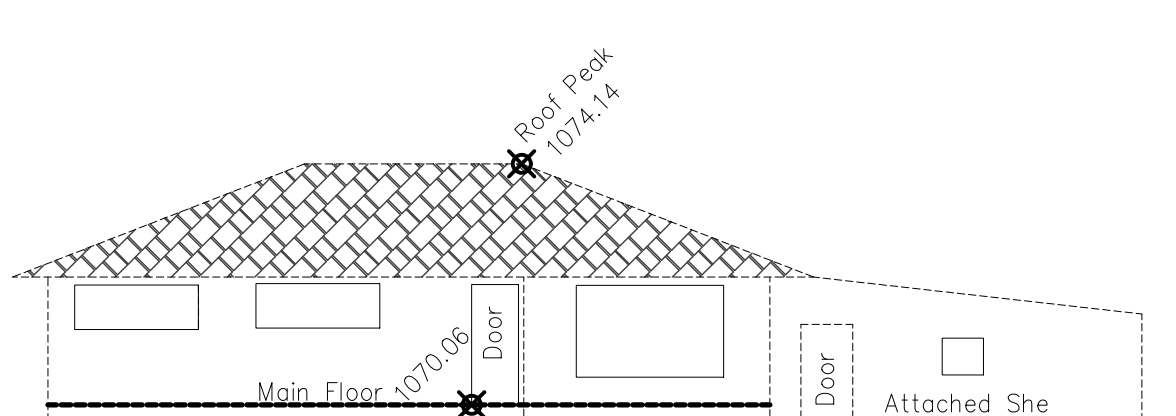
THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



1 BLOCK PLAN
DP.001 3/32" - 1'-0"



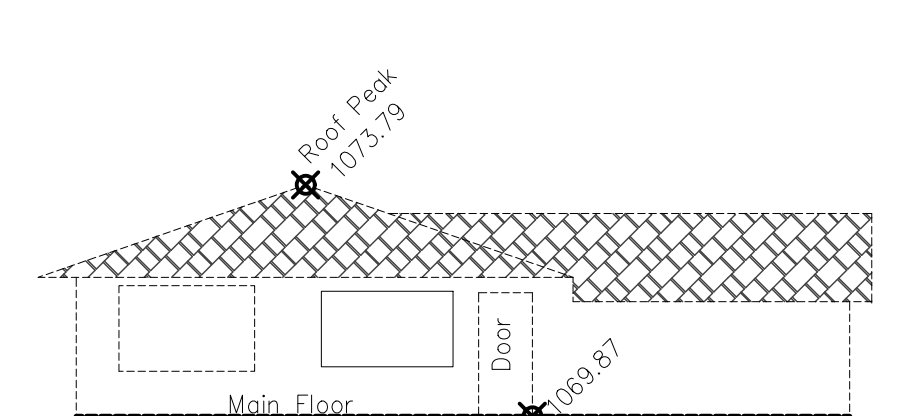
8216 Elbow Drive S.W.
(Lot 41, Block 8, Plan 5375 HH)
Facing Elbow Drive S.W.



8220 Elbow Drive S.W.
(Lot 40, Block 8, Plan 5375 HH)
Facing Elbow Drive S.W.



8224 Elbow Drive S.W.
(Lot 39, Block 8, Plan 5375 HH)
Facing Elbow Drive S.W.



8228 Elbow Drive S.W.
(Lot 38, Block 8, Plan 5375 HH)
Facing Elbow Drive S.W.

WEST STREETSCAPE

2 STREETSCAPE
DP.001 3/32" - 1'-0"



1 PROPOSED ENTRYWAY LIGHTING
DP.002 NTS



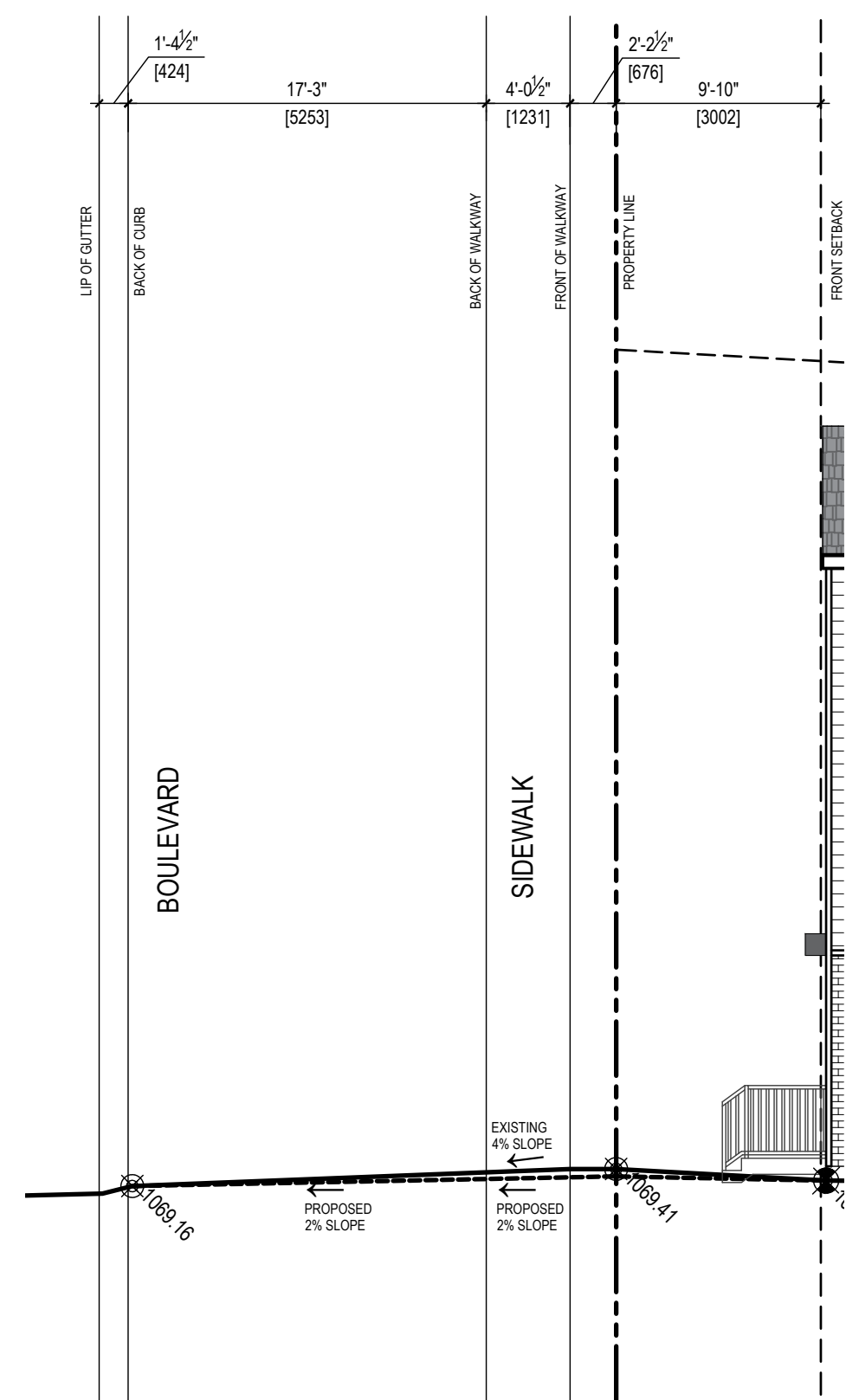
2 PROPOSED SITE LIGHTING
DP.002 NTS



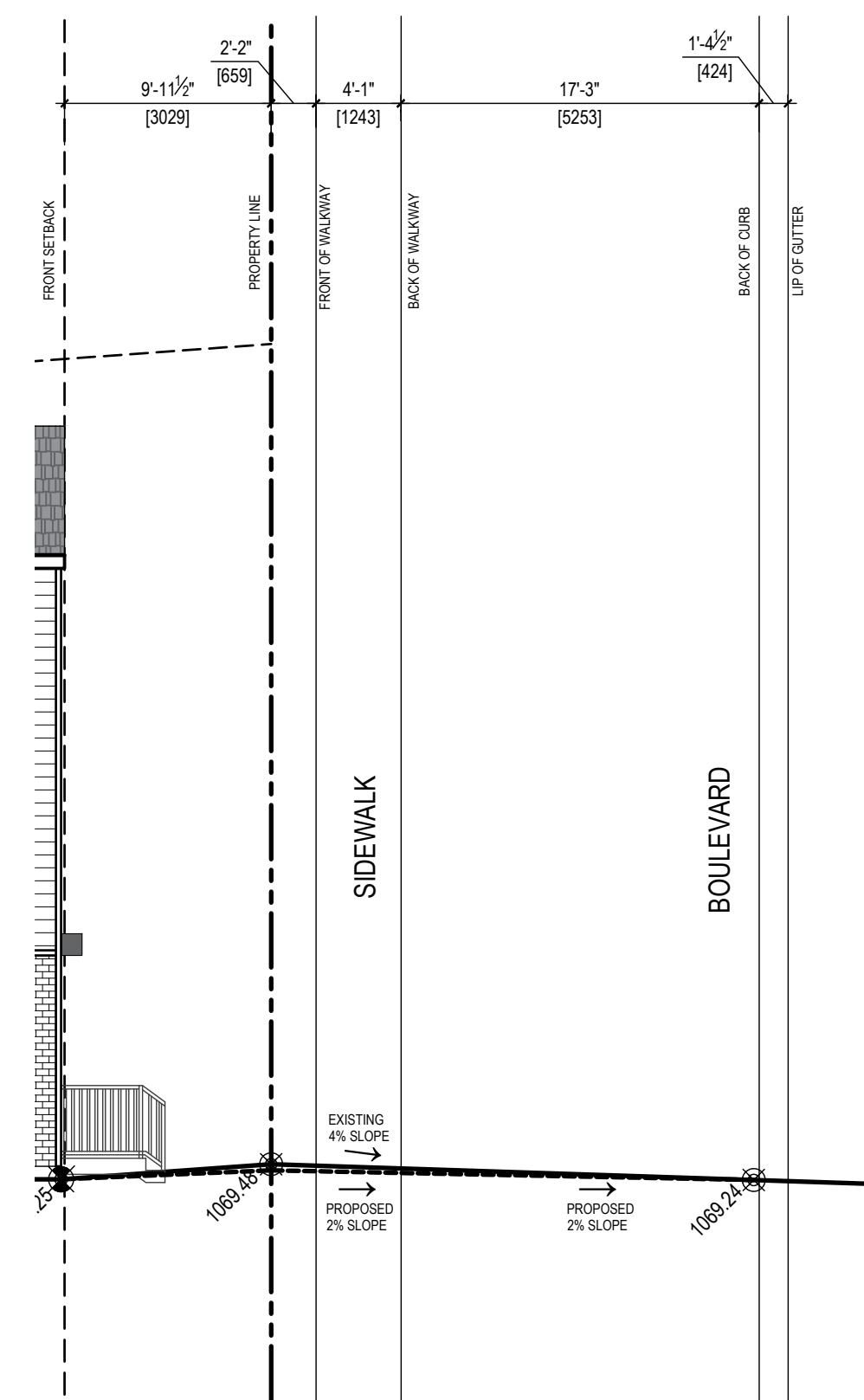
3 PROPOSED ENTRYWAY LIGHTING
DP.002 NTS



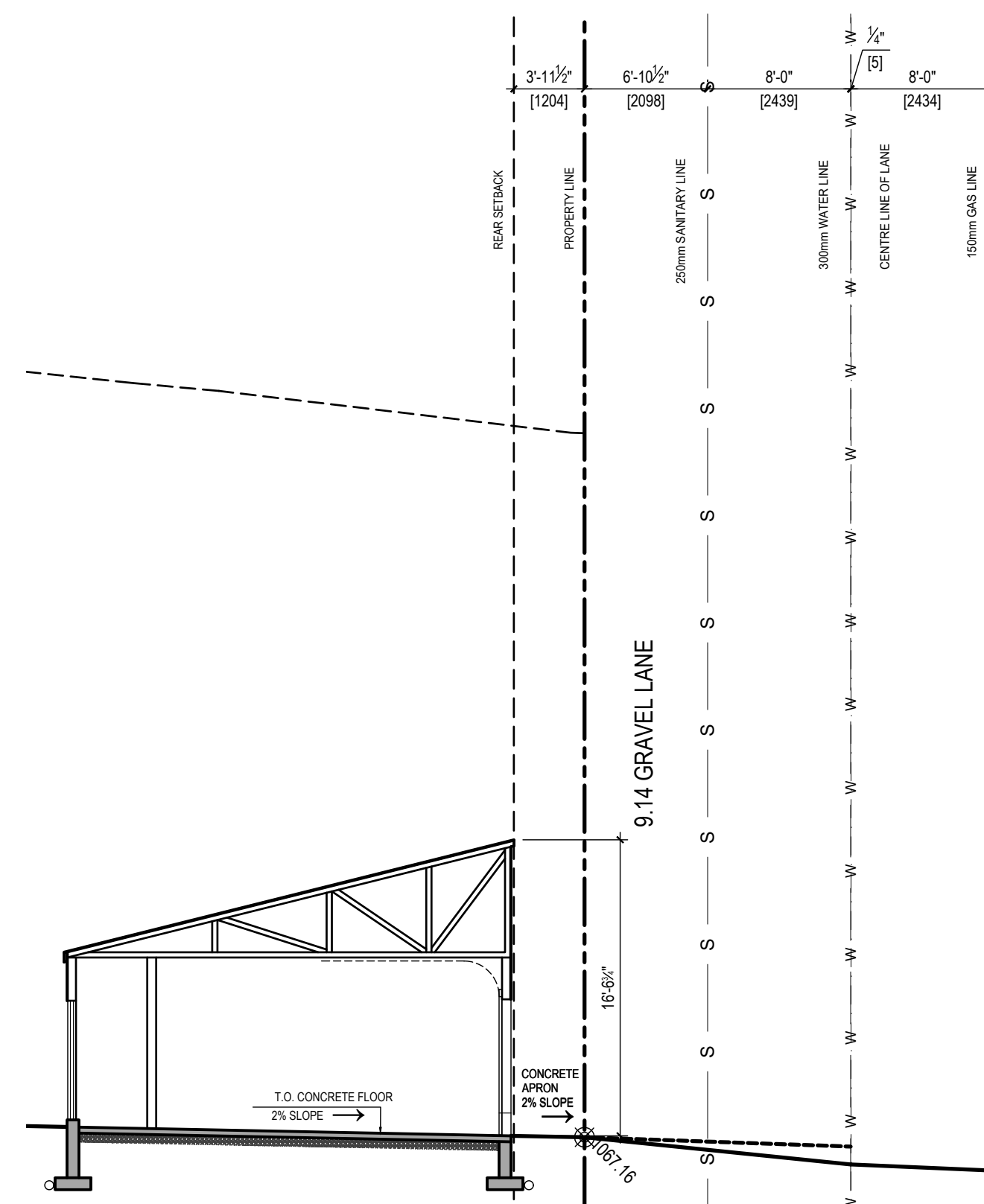
4 PROPOSED PATHWAY LIGHTING
DP.002 NTS



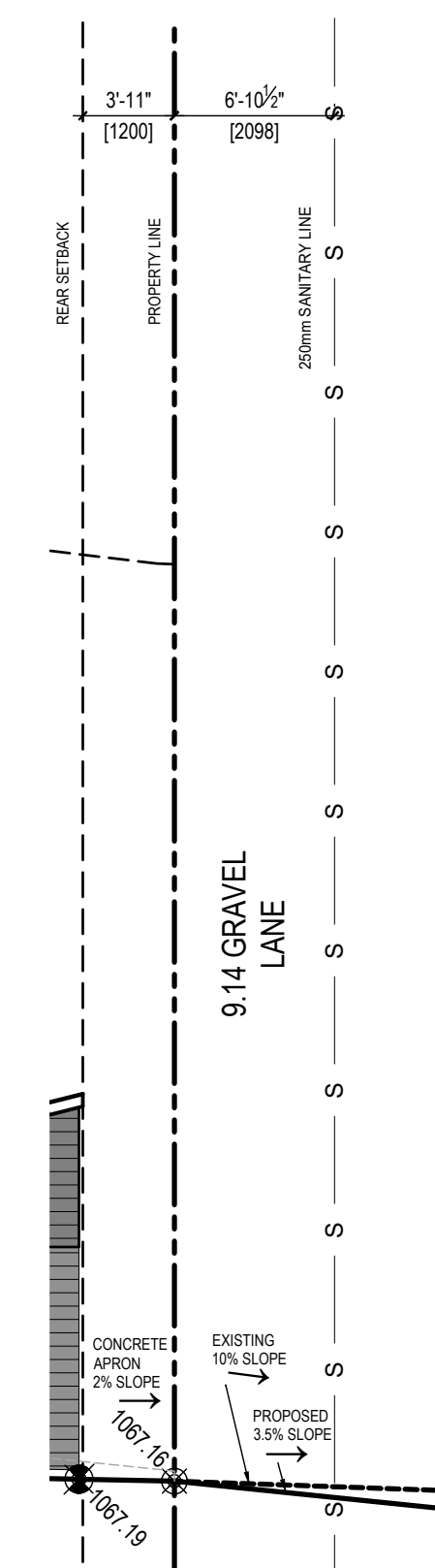
5 SW BOULEVARD
DP.002 1/8" - 1'-0"



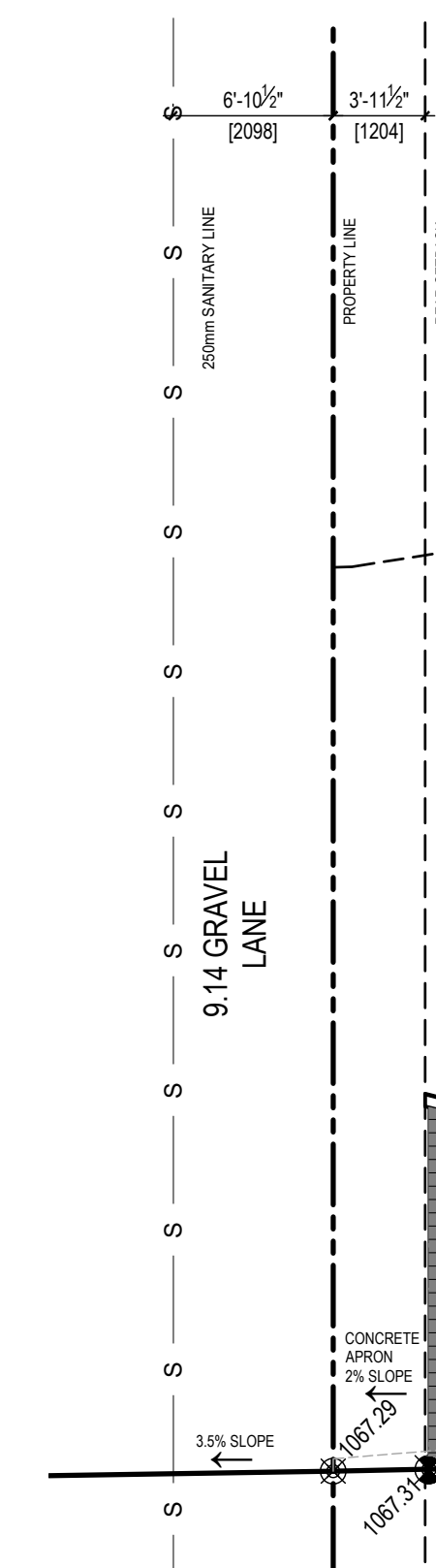
6 NW BOULEVARD
DP.002 1/8" - 1'-0"



7 GARAGE SECTION
DP.002 1/8" - 1'-0"



8 SE LANE
DP.002 1/8" - 1'-0"



9 NE LANE
DP.002 1/8" - 1'-0"



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	08-29-2023

PROJECT NAME

ECC_8224

MANOR ADDRESS

8224 ELBOW DRIVE S.W.

LEGAL ADDRESS

L: 39 B: 8 P: 5275 HH

PROJECT NO.

23.32.ECC_8224

DRAWN

SW DP

DAT

AUG.29.2023

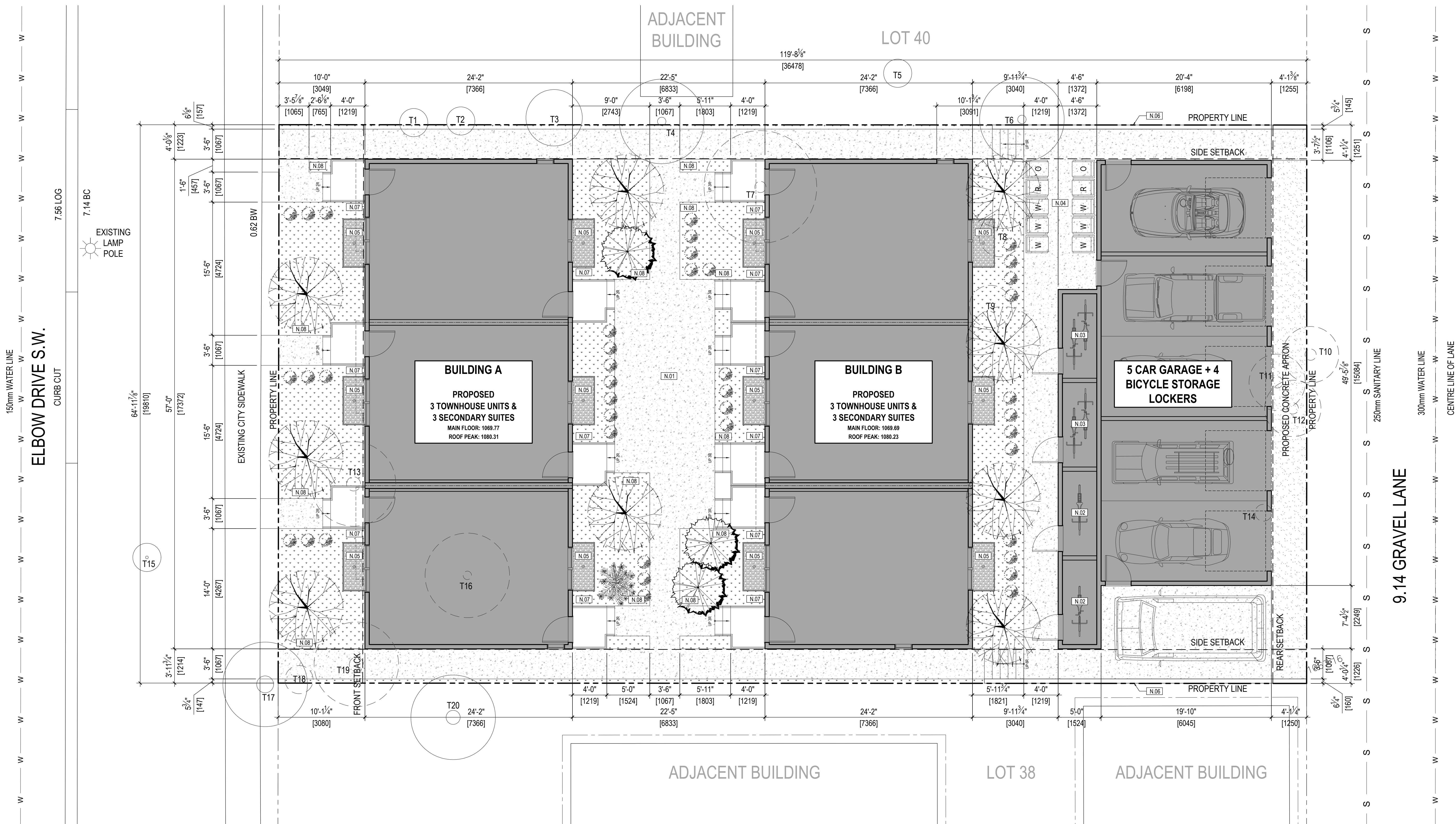
DRAWING TITLE

SITE DETAILS

DRAWING NUMBER

DP.002

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



1 LANDSCAPE PLAN
DP.L01 3/16" - 1'-0"

- SHEET NOTES**
- N.01** PROPOSED AMENITY AREA
 - N.02** PROPOSED MOBILITY STORAGE
 - N.03** PROPOSED CLASS-1 BICYCLE STORAGE
 - N.04** PROPOSED WASTE COLLECTION
 - N.05** PROPOSED WINDOW WELL
 - N.06** PROPOSED LANDSCAPING WALL (SEE DP.202)
 - N.07** PROPOSED EXTERIOR LIGHTING (REF DP.002)
 - N.08** PROPOSED PATHWAY LIGHTING (REF DP.002)

- GENERAL NOTES**
- A. LANDSCAPED AREA = 311 SQ.M / 3347 SQ.FT PROVIDED
 - B. BYLAW 1402 (6) MINIMUM 30% OF LANDSCAPED AREA MUST ME SOFT SURFACED LANDSCAPING = 123 SQ.M / 1320 SQ.FT PROVIDED
 - C. BYLAW 1404 (2): 1 TREE AND 3 SHRUBS REQUIRED PER 110 sq.m OF PARCEL AREA = 8 TREES & 22 SHRUBS. 12 TREES & 33 SHRUBS PROVIDED
 - D. LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT.
 - E. ALL SOFT SURFACE LANDSCAPED AREA WILL HAVE A LOW WATER IRRIGATION SYSTEM.
 - F. ALL SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
 - G. MINIMUM SOIL DEPTH OF 1200mm FOR TREES, 600mm FOR PLANTING BEDS WITH SHRUBS & 300mm IN ALL OTHER AREAS.

LANDSCAPE INFORMATION

LANDSCAPING LEGEND	
CODE	ITEM
[Pattern]	MULCH GROUND COVER
[Pattern]	LAWN (GRASS)
[Pattern]	CONCRETE (APRON)
[Pattern]	SANDBLASTED CONCRETE (WALKWAY)
[Pattern]	GRAVEL (WINDOW WELL)

EXISTING TREES	
SYMBOL	STATUS
[Symbol]	TO REMAIN
[Symbol]	TO BE REMOVED

PROPOSED PLANTINGS

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @ PLANTING	TYP. SPREAD/HEIGHT	REQ.	AMOUNT
CONIFEROUS TREES						
[Symbol]	BLUE SPRUCE	PICEA PUNGENS	2 m HIGH	10'-20' / 50'-75'	LOW WATER	3
DECIDUOUS TREES						
[Symbol]	AMUR MAPLE	ACER GINNALA	60 mm CALLIPER		LOW WATER	9
SHRUBS						
[Symbol]	MUGO PINE	PINUS MUGO	0.60m SPREAD		LOW WATER	1
[Symbol]	LILAC	SYRINGA SPP.	0.60m SPREAD		LOW WATER	32

EXISTING PLANTINGS

NO.	SPECIES	CALLIPER (4)	CANOPY (4)	HEIGHT (m)	NOTES
T1	BUSH	-	1.00	1.00	ON PROPERTY LINE
T2	BUSH	-	1.00	1.00	ON PROPERTY LINE
T3	BUSH	-	2.00	2.00	ON PROPERTY LINE
T4	CONIFEROUS TREE	0.30	3.00	7.00	IN ADJACENT PROPERTY
T5	TRUNK	1.00	-	1.50	IN ADJACENT PROPERTY
T6	DECIDUOUS TREE	0.30	3.00	8.00	IN ADJACENT PROPERTY
T7	DECIDUOUS TREE	0.40	4.00	6.00	TO BE REMOVED
T8	BUSH	-	1.50	1.50	TO BE REMOVED
T9	BUSH	-	1.50	1.50	TO BE REMOVED
T10	CONIFEROUS TREE	0.40	2.00	10.00	ON PROPERTY LINE
T11	CONIFEROUS TREE	0.40	2.00	10.00	TO BE REMOVED
T12	CONIFEROUS TREE	0.40	2.00	10.00	TO BE REMOVED
T13	CONIFEROUS TREE	0.50	3.00	9.00	TO BE REMOVED
T14	TRUNK	0.60	-	0.20	TO BE REMOVED
T15	DECIDUOUS TREE	0.10	1.00	3.00	IN CITY PROPERTY
T16	DECIDUOUS TREE	0.30	3.00	3.00	TO BE REMOVED
T17	DECIDUOUS TREE	0.60	3.00	5.00	IN CITY PROPERTY
T18	BUSH	-	1.00	2.00	ON PROPERTY LINE
T19	CONIFEROUS TREE	0.50	3.00	9.00	TO BE REMOVED
T20	CONIFEROUS TREE	0.50	3.00	9.00	IN ADJACENT PROPERTY

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	08-29-2023

PROJECT NO: **23.32.ECC.8224**

MANUFACTURE ADDRESS: 8224 ELBOW DRIVE S.W.

LEGAL ADDRESS: L: 38 B: B P: 5275-1H1

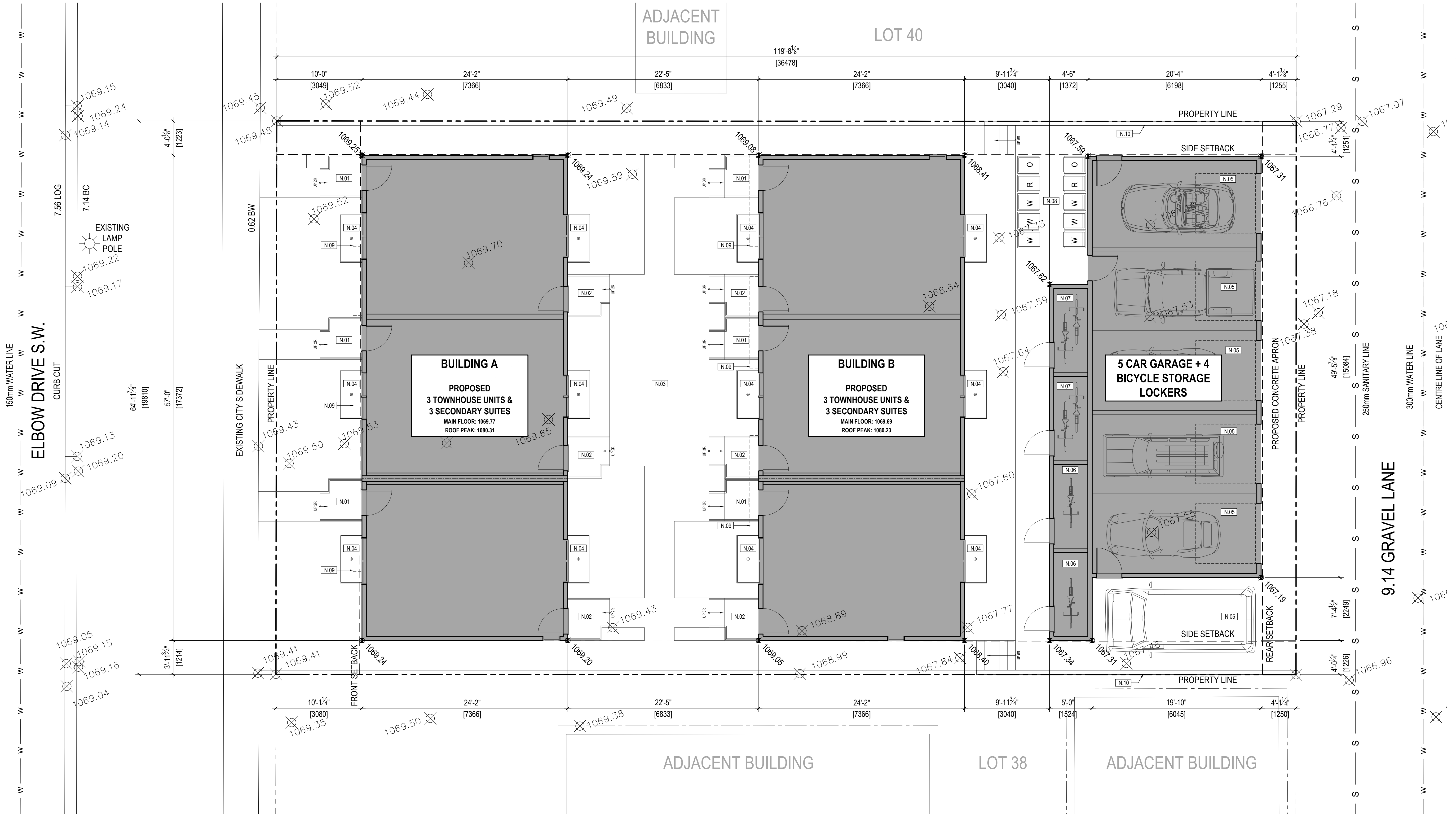
DRAWN: SW CHECKED: DP

DAYS: AUG.29.2023 SCALE: AS NOTED

LANDSCAPE PLAN

DP.L01



THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



1 SITE PLAN
DP.100 1/8" = 1'-0"

- SHEET NOTES**
- N.01** ACCESS TO UNIT
 - N.02** ACCESS TO SECONDARY SUITE
 - N.03** AMENITY SPACE AREA
 - N.04** PROPOSED WINDOW WELL (SEE DP.101)
 - N.05** RESIDENT PARKING STALL
 - N.06** PROPOSED ALTERNATIVE MOBILITY STORAGE
 - N.07** PROPOSED CLASS-1 BICYCLE STORAGE
 - N.08** PROPOSED WASTE COLLECTION
 - N.09** LINE OF CANOPY
 - N.10** PROPOSED LANDSCAPING WALL (SEE DP.202)

- GENERAL NOTES**
- A.** ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
 - B.** REFER TO SURVEY PLANS FOR GEODETTIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
 - C.** ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
 - D.** EXTERIOR LIGHTING IN FRONT ENTRY AREA, WALL MOUNTED. MOUNTING HEIGHT @7'-6" ABOVE ADJACENT FLOOR.
 - E.** HOUSING NUMBER MOUNTED ON EXTERIOR WALL @6FT ABOVE ADJACENT FLOOR.

-  EXISTING GEODETTIC ELEVATION
-  PROPOSED GEODETTIC ELEVATION

RELEASES	
NO.	DESCRIPTION

PROJECT NO: 23.32.ECC.8224

ISSUED FOR DP: 08.29.2023

PROJECT NAME: ECC_8224

MANOR ADDRESS: 8224 ELBOW DRIVE S.W.

LEGAL ADDRESS: L: 39 B: B P: 5275-1H1

DATE: AUG.29.2023 **SCALE:** AS NOTED

DRAWING TITLE: SITE PLAN

DRAWING NUMBER: DP.100

DP.100

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOTES

- N.01 ACCESS TO SECONDARY SUITE
- N.02 PROPOSED WINDOW WELL



1 LOWER LEVEL PLAN
DP.101 1/4" = 1'-0"

RELEASES

NO.	DESCRIPTION	DATE

ECC_8224

MANUFACTURED ADDRESS
8224 ELBOW DRIVE S.W.
LEGAL ADDRESS
L: 39 B: 8 P: 5275 HH

PROJECT NO.
23.32.ECC_8224

DRAWN
SW CHECKED
DP

DAYS
AUG.29.2023 SCALE
AS NOTED

DRAWING TITLE
SECONDARY SUITE FLOOR PLAN - BUILDING A + B

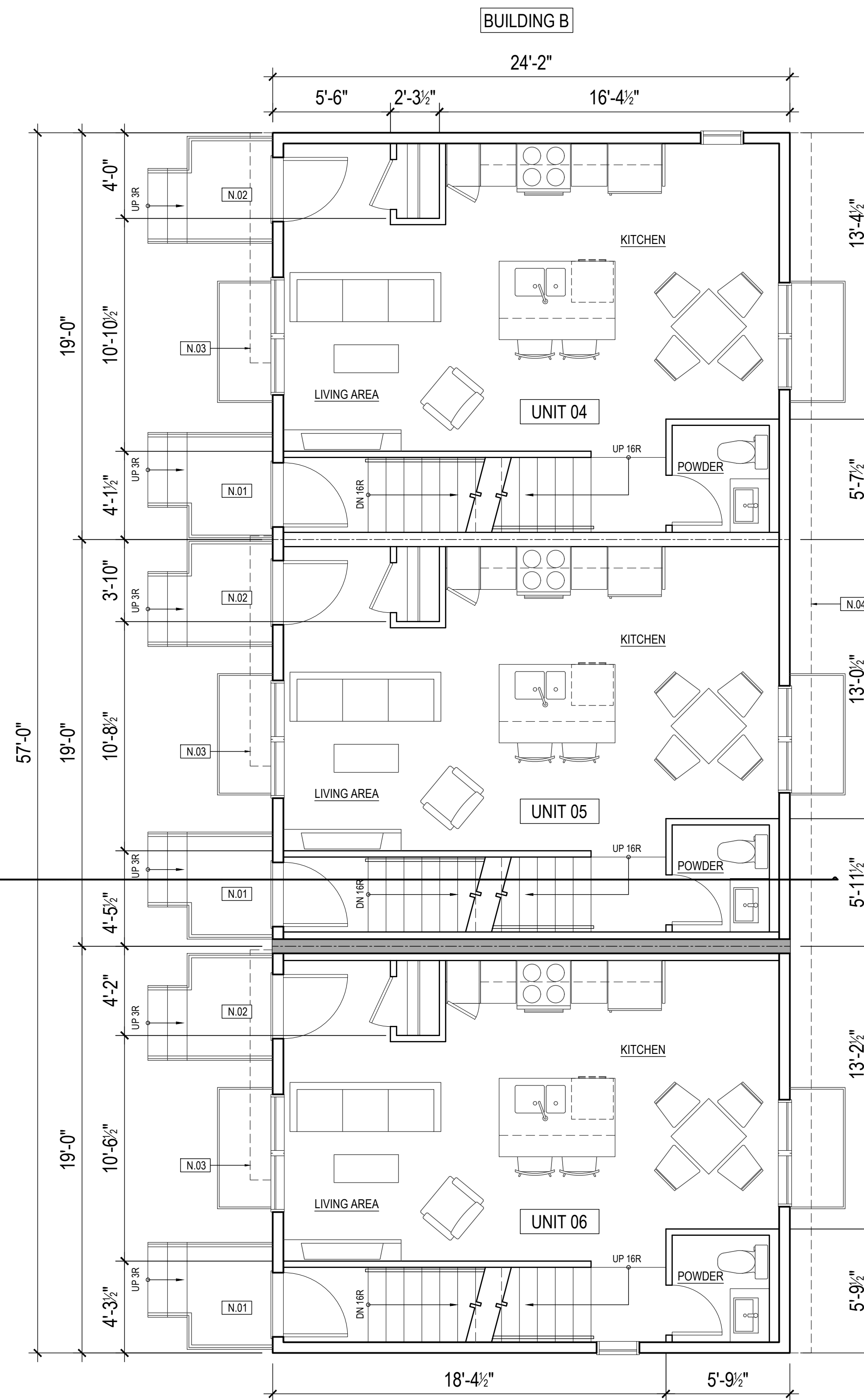
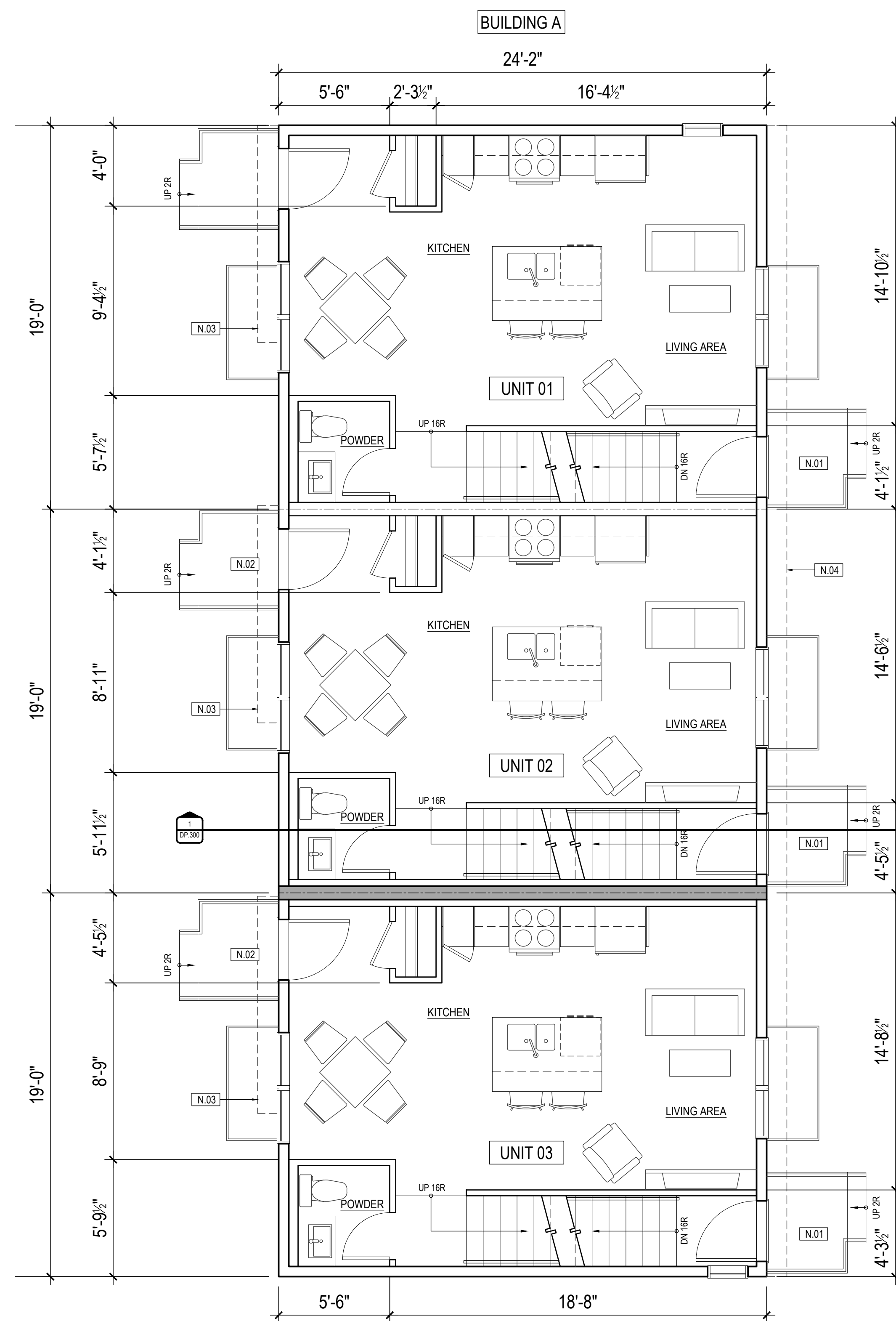
DRAWING NUMBER

DP.101

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOTES

- N.01 ACCESS TO SECONDARY SUITE
- N.02 ACCESS TO UNIT
- N.03 LINE OF CANOPY ABOVE
- N.04 LINE OF BUILDING ABOVE



1 MAIN FLOOR PLAN
DP.102 1/4" = 1'-0"

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	08-29-2023

PROJECT NAME

ECC_8224

MANUFACTURE ADDRESS

8224 ELBOW DRIVE S.W.

LEGAL ADDRESS

L: 39 B: 8 P: 5275-1H1

PROJECT NO.

23.32.ECC_8224

DRAWN

SW DP

DATE

AUG.29.2023

SCALE

AS NOTED

DRAWING TITLE

MAIN FLOOR PLAN

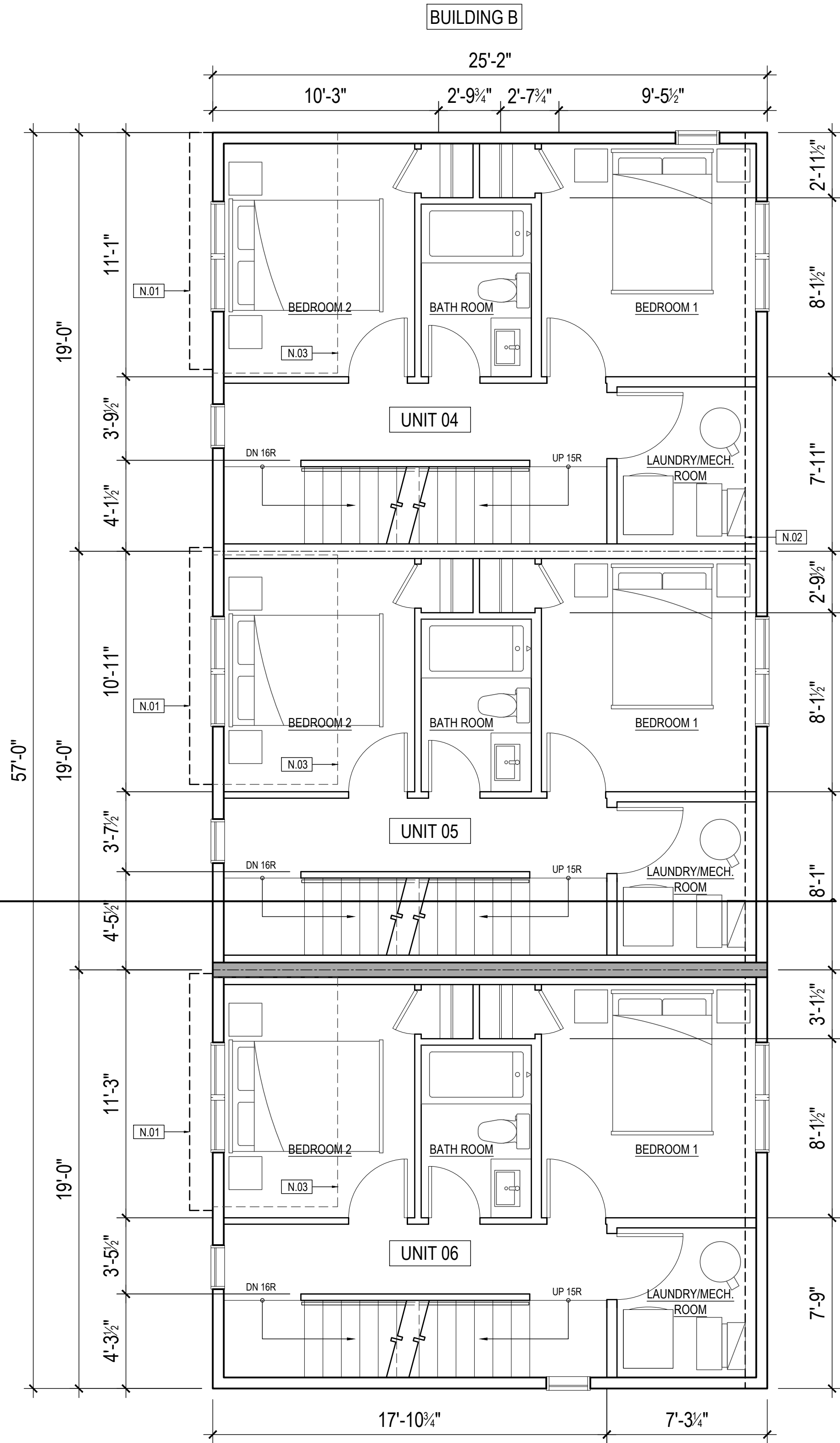
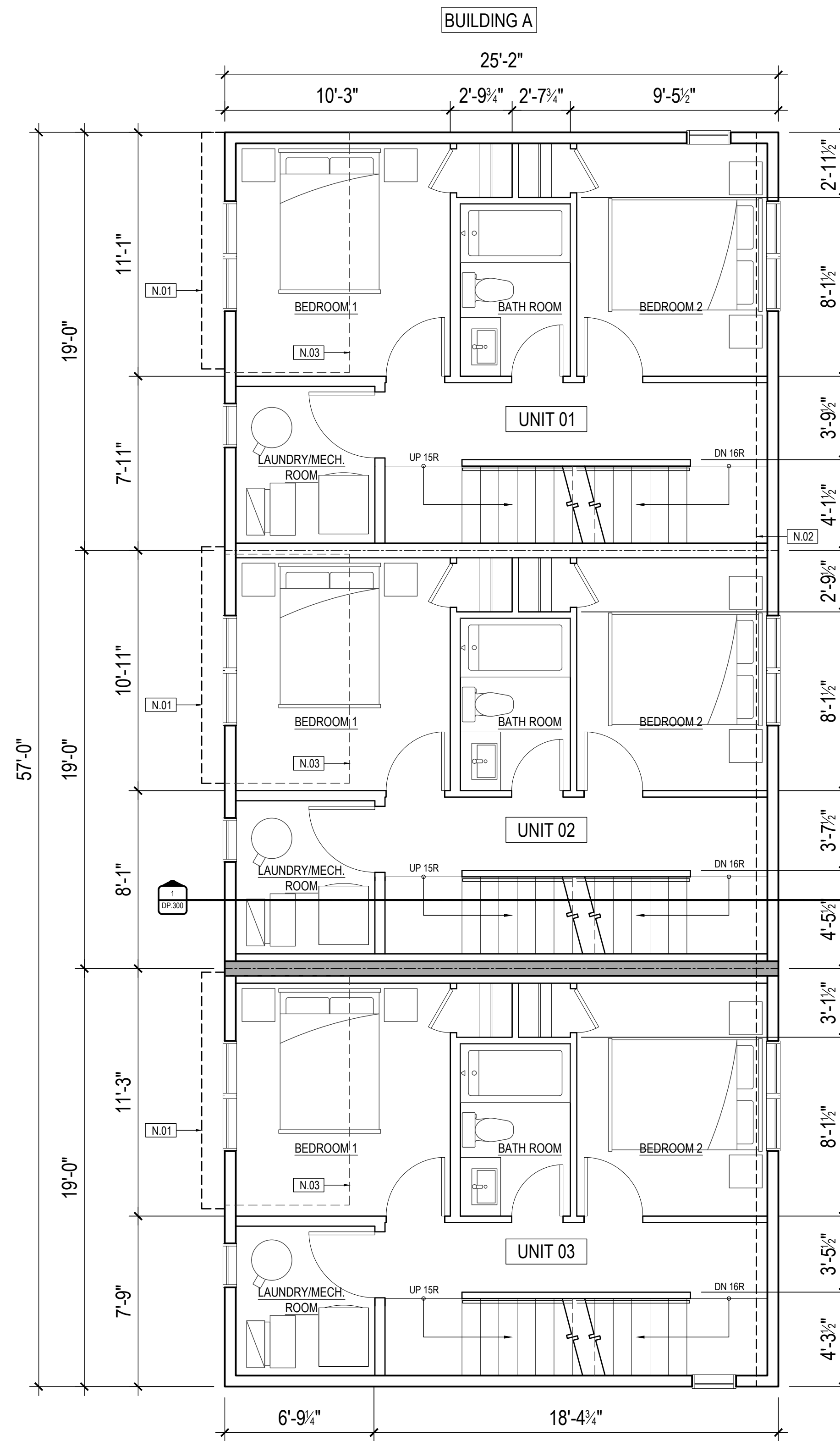
BUILDING A + B

DRAWING NUMBER

DP.102

SHEET NOTES

- N.01** LINE OF CANOPY BELOW
- N.02** LINE OF BUILDING BELOW
- N.03** LINE OF BUILDING ABOVE



RELEASES

NO.	DESCRIPTION	DATE

ISSUED FOR DP 08.29.2023

PROJECT NAME

ECC_8224

MANUFACTURING ADDRESS

8224 ELBOW DRIVE S.W.

LEGAL ADDRESS

L: 39 B: B P: 5275 HH

PROJECT NO.

23.32.ECC_8224

DRAWN

SW DP

DATE

AUG.29.2023

SCALE

AS NOTED

DRAWING TITLE

SECOND FLOOR PLAN
BUILDING A + B

DRAWING NUMBER

SHEET NOTES

- N.01 LINE OF ROOF ABOVE
- N.02 PROPOSED 26" X 36" ATTIC ACCESS PANEL



1 THIRD FLOOR PLAN
DP.104 1/4" = 1'-0"



RELEASES

NO.	DESCRIPTION	DATE

01 ISSUED FOR DP 08.29.2023
PROJECT NAME
ECC_8224
MANUFACTURER ADDRESS
8224 ELBOW DRIVE S.W.
LEGAL ADDRESS
L: 39 B: B P: 5275 HH
PROJECT NO.
23.32.ECC_8224
DRAWN SW CHECKED DP
DATE AUG.29.2023 SCALE AS NOTED

THIRD FLOOR PLAN
BUILDING A + B

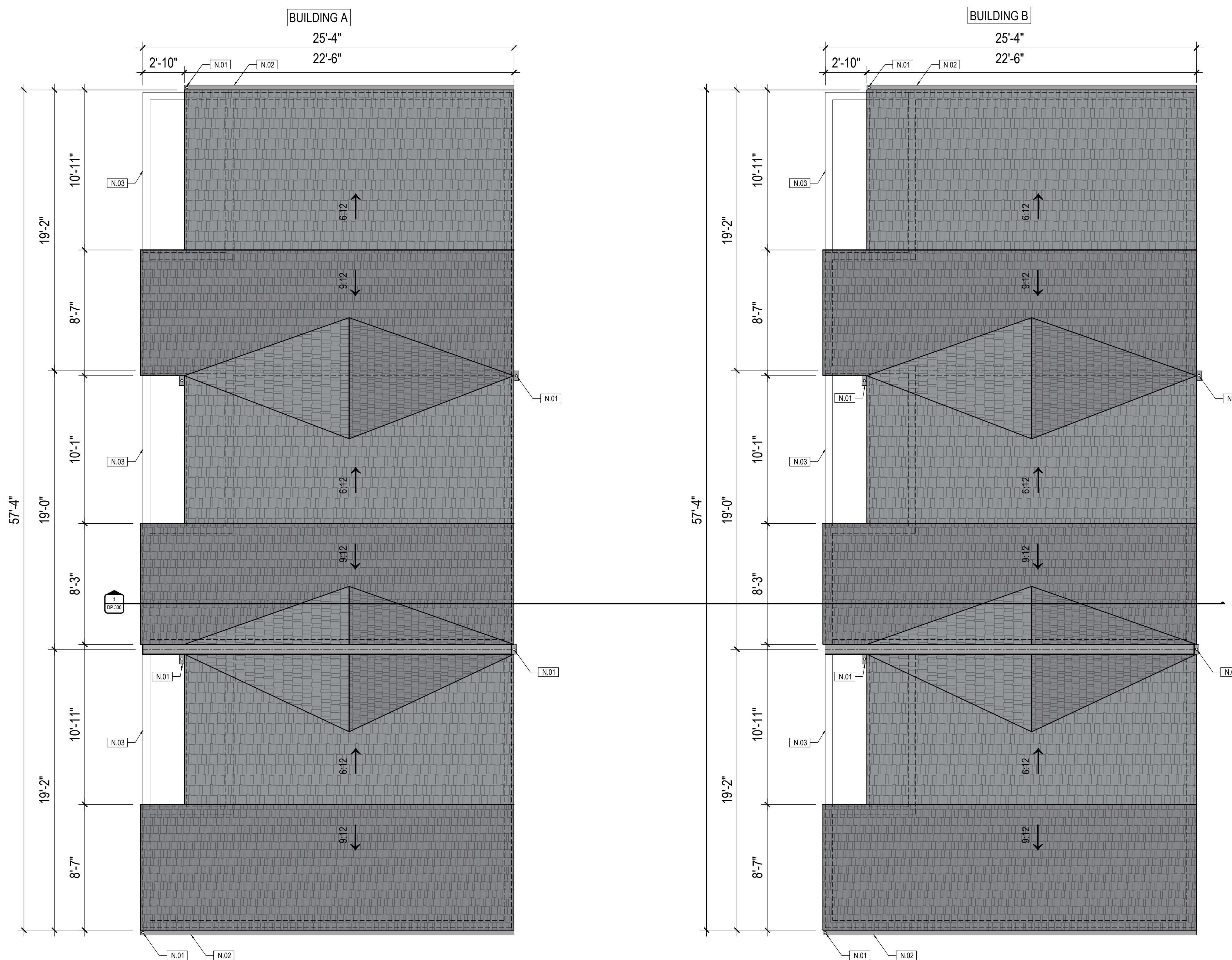
DRAWING NUMBER

DP.104

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

SHEET NOTES

- N.01** PROPOSED DOWNSPOUT LOCATION
- N.02** PROPOSED GUTTER
- N.03** BALCONY BELOW



1 ROOF PLAN
 DP.105 1/4" - 1'-0"



RELEASES

NO.	DESCRIPTION	DATE

.01 ISSUED FOR DP 08-29-2023

PROJECT NAME
ECC_8224

MANUFACTURER ADDRESS
 8224 ELBOW DRIVE S.W.

LEGAL ADDRESS
 L: 39 B: B P: 5275 HH

PROJECT NO.
23.32.ECC_8224

DRAWN
 SW DP

CHECKED
 DP

DATE
 AUG.29.2023

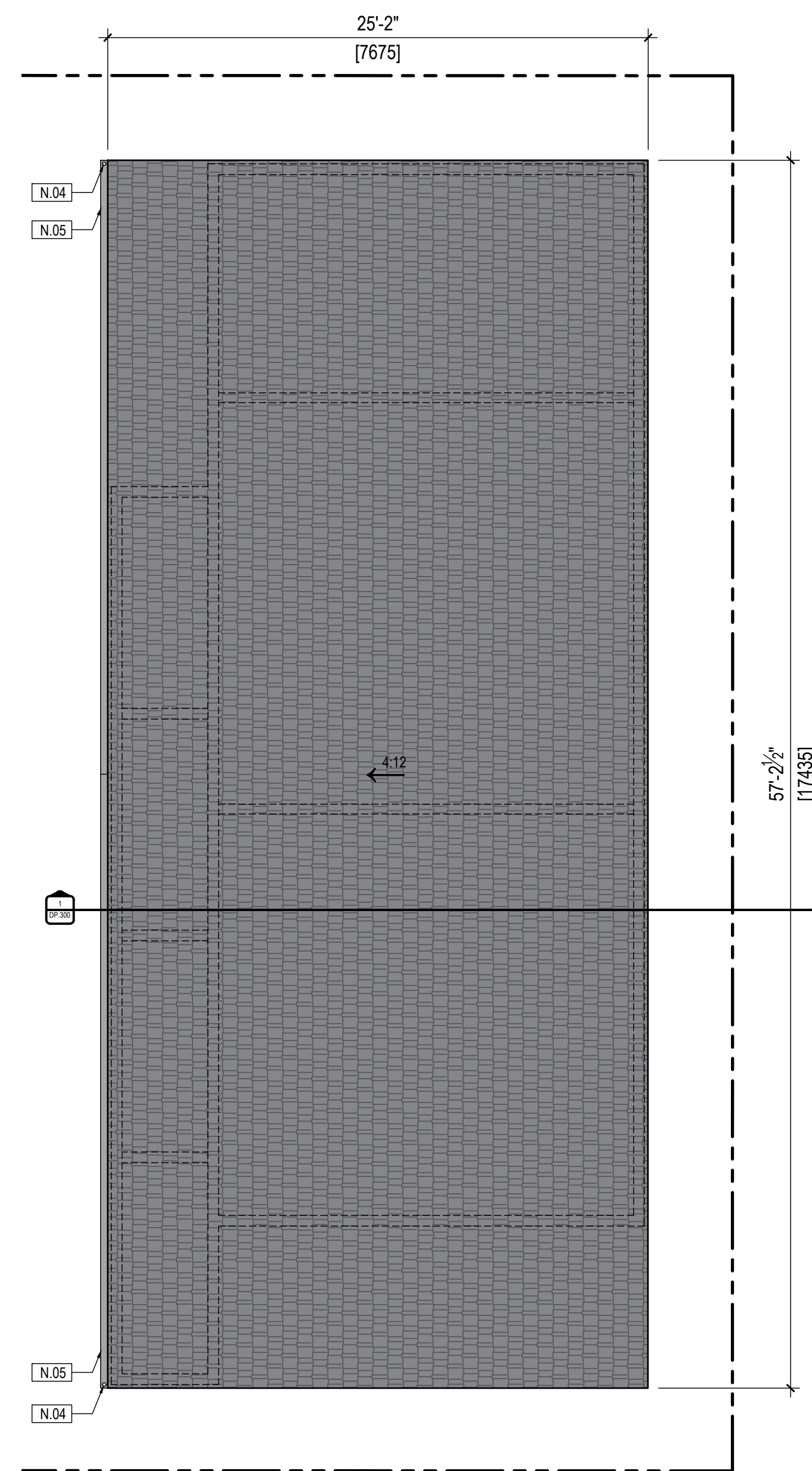
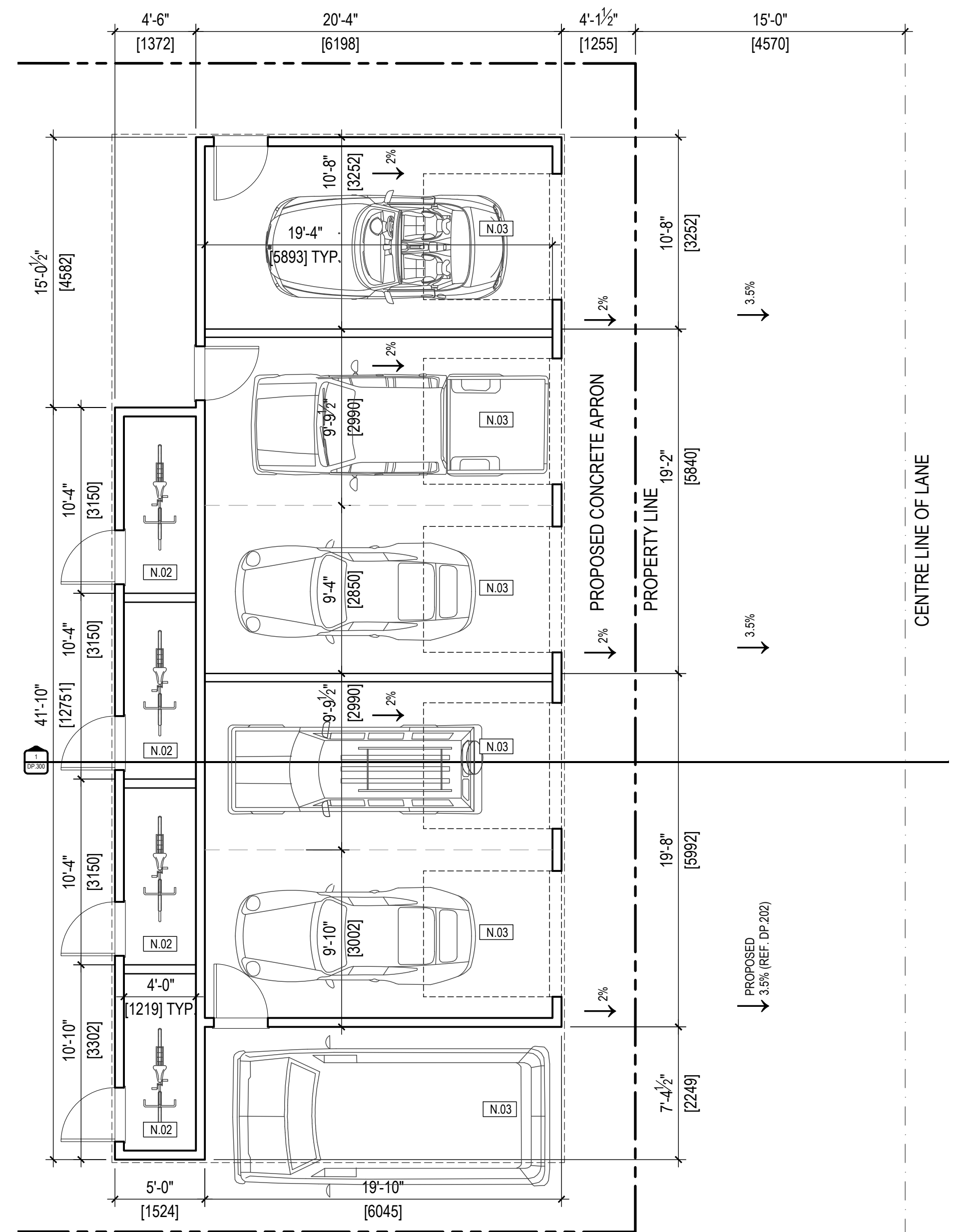
SCALE
 AS NOTED

DRAWING TITLE
**ROOF PLAN
 BUILDING A + B**

DRAWING NUMBER

DP.105

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



EXTERIOR FINISHES LEGEND

A - FIBRE CEMENT

- A1 HARDIE PANEL - COLOUR: IRON GRAY
- A2 HARDIE PANEL - COLOUR: ARCTIC WHITE
- A3 HARDIE TRIM - COLOUR: ARCTIC WHITE

B - WOOD

- B1 WOOD SCREEN

C - METAL

- C1 METAL PANEL - COLOUR: BLACK
- C2 METAL PANEL - COLOUR: WOOD-LIKE
- C3 METAL FRAME WINDOW - COLOUR: BLACK
- C4 PREFINISHED METAL CAP FLASHING - COLOUR: BLACK
- C5 METAL FASCIA - COLOUR: ARCTIC WHITE TO MATCH A2
- C6 METAL TRIM - COLOUR: ARCTIC WHITE TO MATCH A2
- C7 ALUMINUM RAILING - COLOUR: BLACK, POWDER COATED
- C8 METAL WINDOW WELL

D - ROOFING

- D1 ASPHALT SHINGLES - COLOUR: BLACK

E - CONCRETE

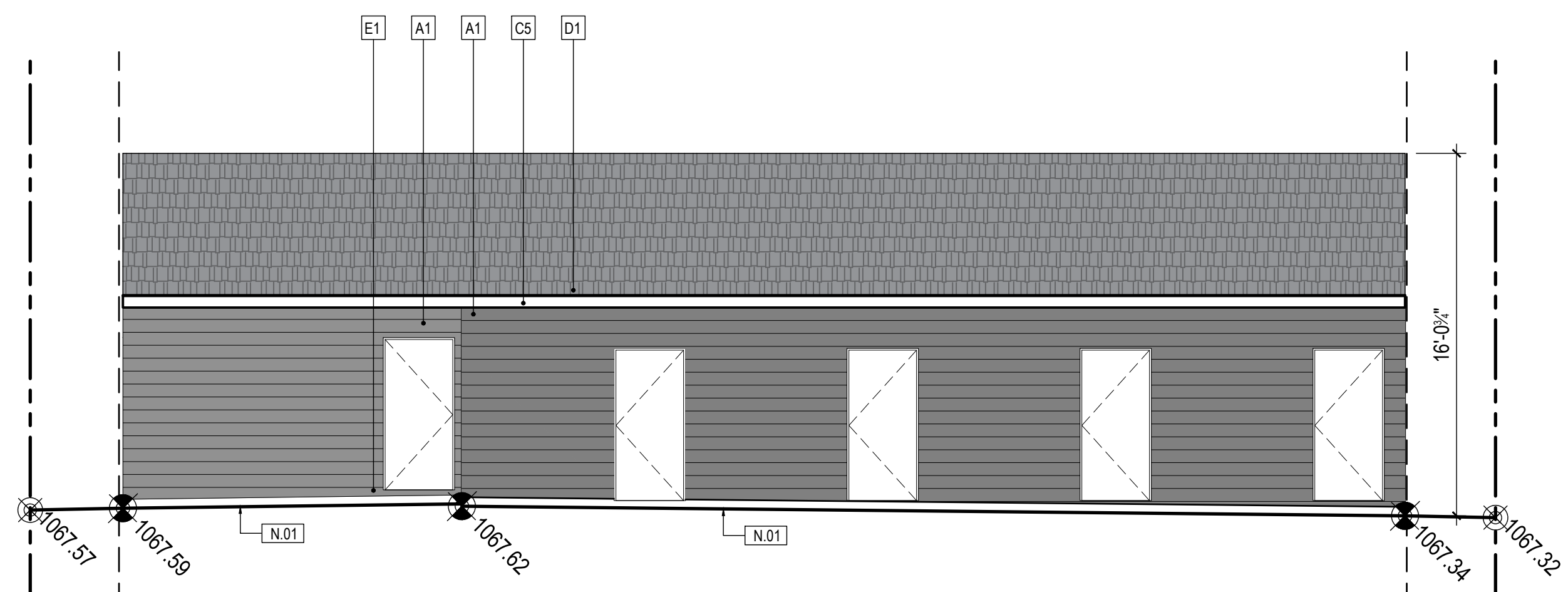
- E1 PARGING
- E2 CONCRETE STAIRS

F - MASONRY

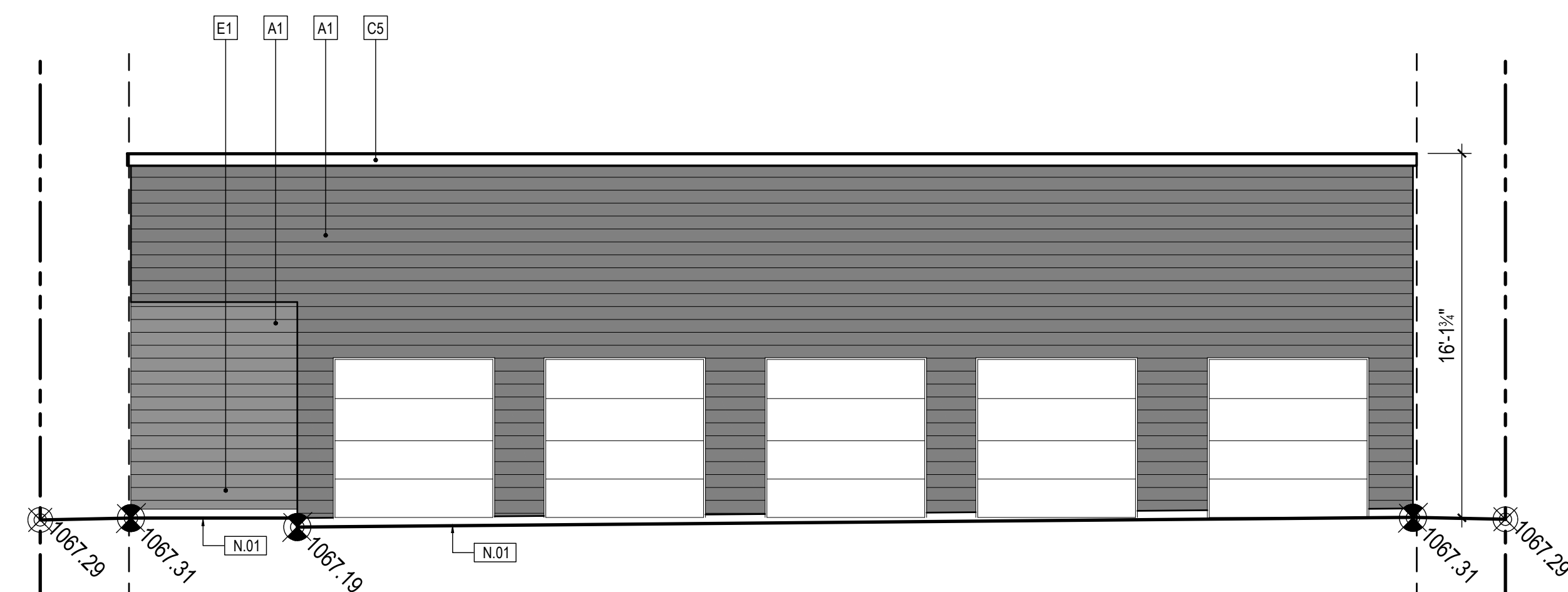
- F1 BRICK - COLOUR: WHITE

SHEET NOTES

- N.01 GRADING AT FACE OF BUILDING
- N.02 PROPOSED ALTERNATIVE MOBILITY STORAGE
- N.03 PROPOSED PARKING STALLS
- N.04 PROPOSED DOWNSPOUT LOCATION
- N.05 PROPOSED GUTTER LOCATION
- ⊕ EXISTING GEODETIC ELEVATION
- ⊙ PROPOSED GEODETIC ELEVATION



2 WEST ELEVATION
 DP.106 3/16" - 1'-0"



5 EAST ELEVATION
 DP.106 3/16" - 1'-0"



RELEASES

NO.	DESCRIPTION	DATE

01 ISSUED FOR DP 08-29-2023

PROJECT NAME

ECC_8224

MANUFACTURER ADDRESS

8224 ELBOW DRIVE S.W.

LEGAL ADDRESS

L: 38 B: 8 P: 5275 HH

PROJECT NO:

23.32.ECC_8224

DRAWN: SW CHECKED: DP

DATED: AUG.29.2023 SCALE: AS NOTED

DRAWING TITLE

GARAGE PLANS & ELEVATIONS

DRAWING NUMBER

DP.106

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



1 WEST ELEVATION - BLDG A
DP.200 3/16" - 1'-0"



2 EAST ELEVATION - BLDG A
DP.200 3/16" - 1'-0"

EXTERIOR FINISHES LEGEND

- A - FIBRE CEMENT**
 - A1 HARDIE PANEL - COLOUR: IRON GRAY
 - A2 HARDIE PANEL - COLOUR: ARCTIC WHITE
 - A3 HARDIE TRIM - COLOUR: ARCTIC WHITE
- B - WOOD**
 - B1 WOOD SCREEN
- C - METAL**
 - C1 METAL PANEL - COLOUR: BLACK
 - C2 METAL PANEL - COLOUR: WOOD-LIKE
 - C3 METAL FRAME WINDOW - COLOUR: BLACK
 - C4 PREFINISHED METAL CAP FLASHING - COLOUR: BLACK
 - C5 METAL FASCIA - COLOUR: ARCTIC WHITE TO MATCH A2
 - C6 METAL TRIM - COLOUR: ARCTIC WHITE TO MATCH A2
 - C7 ALUMINUM RAILING - COLOUR: BLACK, POWDER COATED
 - C8 METAL WINDOW WELL
- D - ROOFING**
 - D1 ASPHALT SHINGLES - COLOUR: BLACK
- E - CONCRETE**
 - E1 PARGING
 - E2 CONCRETE STAIRS
- F - MASONRY**
 - F1 BRICK - COLOUR: WHITE

SHEET NOTES

- N.01 LINE OF GRADING AT PROPERTY LINE
- N.02 LINE OF GRADING AT BUILDING
- N.03 PROPOSED ADDRESS SIGNAGE
- N.04 PROPOSED CANOPY
- N.05 FIREWALL
- ⊕ EXISTING GEODETIC ELEVATION
- ⊗ PROPOSED GEODETIC ELEVATION

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	08-29-2023

ECC_8224

MANOR ADDRESS
8224 ELBOW DRIVE S.W.

LEGAL ADDRESS
L: 39 B: B P: 5275 HH

PROJECT NO.
23.32.ECC_8224

DRAWN: SW CHECKED: DP
DATE: AUG.29.2023 SCALE: AS NOTED

ELEVATIONS
BUILDING A

DP.200

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



EXTERIOR FINISHES LEGEND

A - FIBRE CEMENT

- A1 HARDIE PANEL - COLOUR: IRON GRAY
- A2 HARDIE PANEL - COLOUR: ARCTIC WHITE
- A3 HARDIE TRIM - COLOUR: ARCTIC WHITE

B - WOOD

- B1 WOOD SCREEN

C - METAL

- C1 METAL PANEL - COLOUR: BLACK
- C2 METAL PANEL - COLOUR: WOOD-LIKE
- C3 METAL FRAME WINDOW - COLOUR: BLACK
- C4 PREFINISHED METAL CAP FLASHING - COLOUR: BLACK
- C5 METAL FASCIA - COLOUR: ARCTIC WHITE TO MATCH A2
- C6 METAL TRIM - COLOUR: ARCTIC WHITE TO MATCH A2
- C7 ALUMINUM RAILING - COLOUR: BLACK, POWDER COATED
- C8 METAL WINDOW WELL

D - ROOFING

- D1 ASPHALT SHINGLES - COLOUR: BLACK

E - CONCRETE

- E1 PAVING
- E2 CONCRETE STAIRS

F - MASONRY

- F1 BRICK - COLOUR: WHITE

SHEET NOTES

- N.01 LINE OF GRADING AT PROPERTY LINE
- N.02 LINE OF GRADING AT BUILDING
- N.03 PROPOSED ADDRESS SIGNAGE
- N.04 PROPOSED CANOPY
- N.05 FIREWALL
- ⊕ EXISTING GEODETIC ELEVATION
- ⊗ PROPOSED GEODETIC ELEVATION

RELEASES

NO.	DESCRIPTION	DATE

01 ISSUED FOR DP 08.29.2023

ECC_8224

MANOR ADDRESS

8224 ELBOW DRIVE S.W.

LEGAL ADDRESS

L: 39 B: B P: 5275 HH

PROJECT NO.

23.32.ECC_8224

DRAWN

SW DP

DAYS

AUG.29.2023

SCALE

AS NOTED

DRAWING TITLE

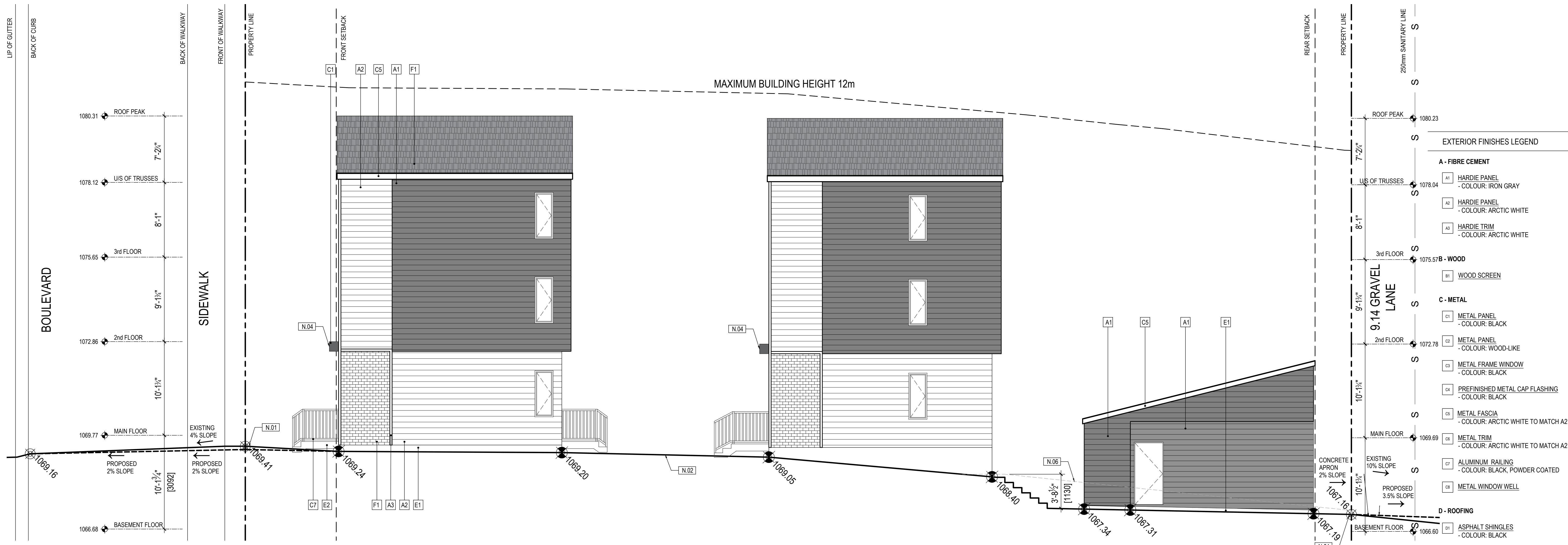
ELEVATIONS

BUILDING B

DRAWING NUMBER

DP.201

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



1 SOUTH ELEVATION
DP.201 3/16" = 1'-0"

- EXTERIOR FINISHES LEGEND**
- A - FIBRE CEMENT**
- A1 HARDIE PANEL - COLOUR: IRON GRAY
 - A2 HARDIE PANEL - COLOUR: ARCTIC WHITE
 - A3 HARDIE TRIM - COLOUR: ARCTIC WHITE
- B - WOOD**
- B1 WOOD SCREEN
- C - METAL**
- C1 METAL PANEL - COLOUR: BLACK
 - C2 METAL PANEL - COLOUR: WOOD-LIKE
 - C3 METAL FRAME WINDOW - COLOUR: BLACK
 - C4 PREFINISHED METAL CAP FLASHING - COLOUR: BLACK
 - C5 METAL FASCIA - COLOUR: ARCTIC WHITE TO MATCH A2
 - C6 METAL TRIM - COLOUR: ARCTIC WHITE TO MATCH A2
 - C7 ALUMINUM RAILING - COLOUR: BLACK, POWDER COATED
 - C8 METAL WINDOW WELL
- D - ROOFING**
- D1 ASPHALT SHINGLES - COLOUR: BLACK

- E - CONCRETE**
- E1 PAVING
 - E2 CONCRETE STAIRS
- F - MASONRY**
- F1 BRICK - COLOUR: WHITE

- SHEET NOTES**
- N.01 LINE OF GRADING AT PROPERTY LINE
 - N.02 LINE OF GRADING AT BUILDING
 - N.03 PROPOSED ADDRESS SIGNAGE
 - N.04 PROPOSED CANOPY
 - N.05 FIREWALL
 - N.06 PROPOSED RETAINING WALL
- EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	08-29-2023

ECC_8224

MANUFACTURE ADDRESS
8224 ELBOW DRIVE S.W.

LEGAL ADDRESS
L: 39 B: B P: 5275-1H1

PROJECT NO:
23.32.ECC_8224

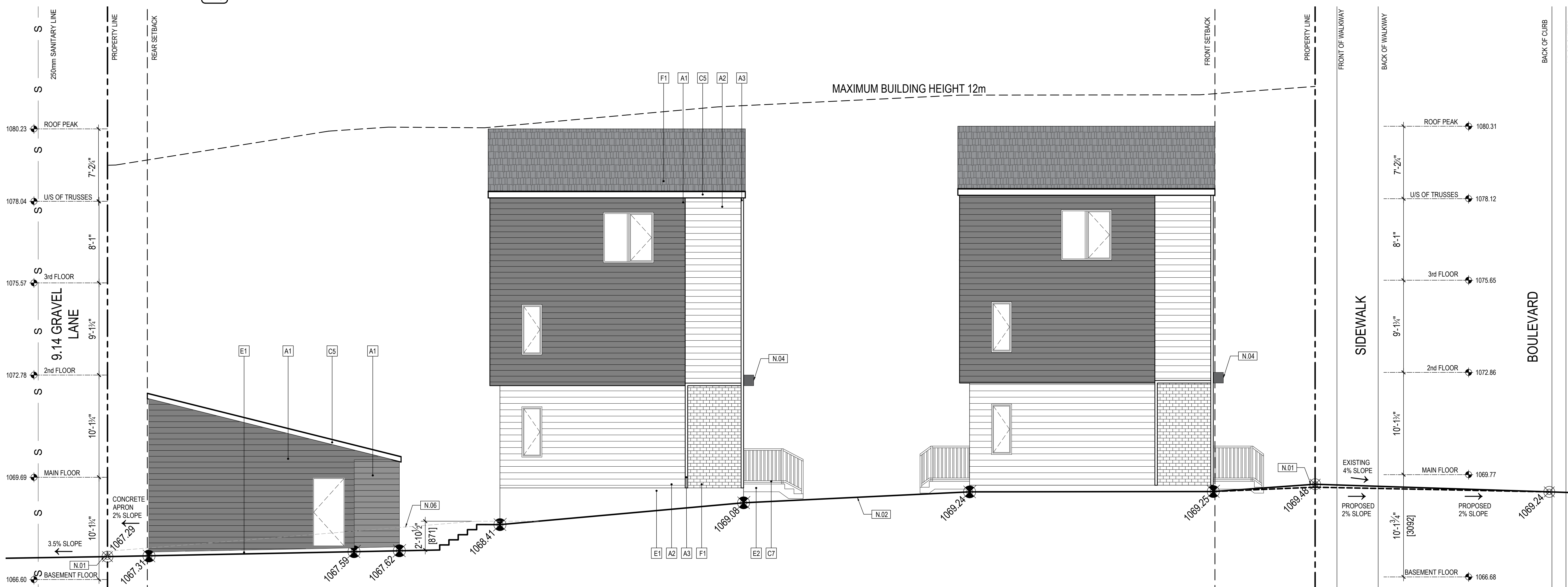
DESIGNER: SW
CHECKER: DP

DWG: AUG.29.2023
SCALE: AS NOTED

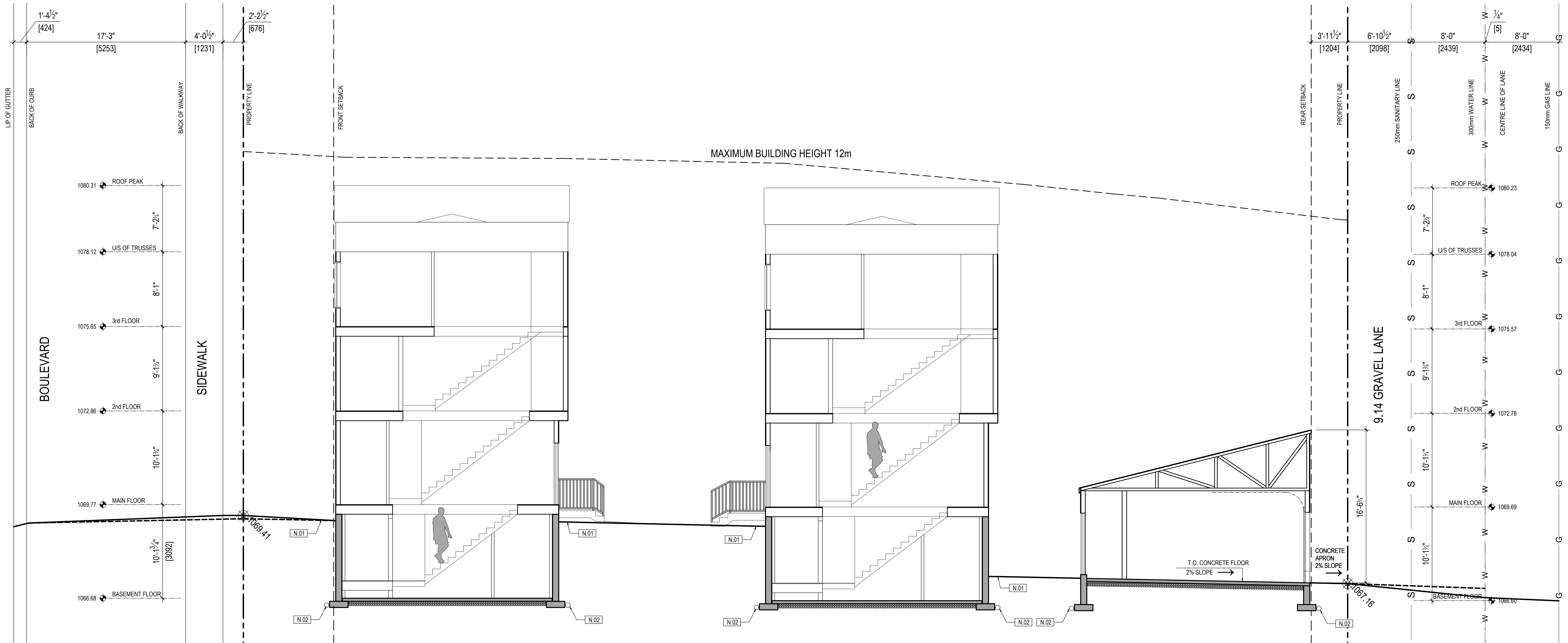
ELEVATIONS

DP.202

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



2 NORTH ELEVATION
DP.201 3/16" = 1'-0"



SHEET NOTES

- N.01** LINE OF GRADING AT FACE OF BUILDING
- N.02** WEEPING TILE

1 BUILDING SECTION
DP.300 3/16" - 1'-0"

RELEASES

NO.	DESCRIPTION	DATE

01 ISSUED FOR DP 08-29-2023

PROJECT NAME

ECC_8224

MANUFACTURE ADDRESS

8224 ELBOW DRIVE S.W.

LEGAL ADDRESS

L: 39 B: B P: 5275 HH

PROJECT NO:

23.32.ECC_8224

DRAWN

SW DP

DAYS

AUG.29.2023

DRAWING TITLE

BUILDING SECTION

DRAWING NUMBER

DP.300

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.